

AGENDA



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
SEPTEMBER 27, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the September 13, 2022 Planning and Zoning Commission meeting.

(3) **P2022-050 (ANGELICA GUEVARA)**

Discuss and consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition being a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the southwest corner of the intersection of John King Boulevard and FM-1141, and take any action necessary.

(V) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is October 11, 2022.

(4) **Z2022-044 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Article 02, *Development Review Authority*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Article III, *Boards, Commissions, Committees*, of Chapter 2, *Administration*, of the Municipal Code of Ordinances, and take any action necessary.

(5) **Z2022-045 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Tony Trammel for the approval of a Specific Use Permit (SUP) for *Solar Panels* exceeding 1,000 SF of coverage on a residential home situated on a 0.1947-acre parcel of land identified as Lot 20, Block D, Lynden Park Estates Subdivision, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17) for Single Family 7 (SF-7) District land uses, addressed as 125 Lanshire Drive, and take any action necessary.

(6) **Z2022-046 (RYAN MILLER)**

Hold a public hearing to discuss and consider approval of a Text Amendment to Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], and take any action necessary.

(7) **P2022-046 (BETHANY ROSS)**

Discuss and consider a request by Robert Alexander for the approval of a Final Plat for Lots 1 & 2, Block A, Alexander Addition being a 5.0095-acre tract of land identified as Tract 39-01 of the McFadgin Survey, Abstract No. 142, Rockwall County, Texas,

situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 2320 S. Munson Road, and take any action necessary.

(8) **P2022-047 (HENRY LEE)**

Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bill Bricker of Columbia Development Company for the approval of a Preliminary Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

(9) **P2022-048 (HENRY LEE)**

Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Master Plat for the Terraces Subdivision consisting of 263 single-family residential lots on a 115.804-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

(10) **P2022-049 (HENRY LEE)**

Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Preliminary Plat for the Terraces Subdivision consisting of 263 single-family residential lots on a 115.804-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

(11) **SP2022-049 (BETHANY ROSS)**

Discuss and consider a request by Mike Ruibal of Ruibal's Garden Center for the approval of a Site Plan for a *Garden Supply/Plant Nursery* on a 2.98-acre tract of land identified as Lots 12 & 12-1 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 207 Ranch Trail, and take any action necessary.

(12) **SP2022-050 (HENRY LEE)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Brad Bacon of Bacon Property, LLC for the approval of an Amended Site Plan for an existing *Office/Warehouse* facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

(13) **SP2022-051 (HENRY LEE)**

Discuss and consider a request by Terry Lee of A-1 Services on behalf of Don Rakow and Don Srygley of S & A Systems, Inc. for the approval of an Amended Site Plan for an existing *Office/Manufacturing* facility on a two (2) acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 43 (PD-43) for Commercial (C) District land uses, addressed as 922 Sids Road, and take any action necessary.

(14) **SP2022-052 (BETHANY ROSS)**

Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Susan Gamez of Everybody Massage for the approval of an Amended Site Plan for an existing *Massage Therapist* facility on a 0.48-acre tract of land identified as Lot 1, Block A, Everybody Massage Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 2001 Ridge Road, and take any action necessary.

(15) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2022-012: Final Plat for Lots 1-3, Block A, Arkoma Addition **(APPROVED)**
- P2022-037: Preliminary Plat for the Quail Hollow Subdivision **(APPROVED)**
- P2022-039: Master Plat for the Quail Hollow Subdivision **(APPROVED)**
- P2022-040: Final Plat for Lots 1-3, Block A, Garcia-Herrera Addition **(APPROVED)**
- P2022-041: Preliminary Plat for Lots 1-4, Block A, REC Campus Addition **(APPROVED)**
- P2022-042: Preliminary Plat for the Homestead Subdivision **(APPROVED)**
- P2022-043: Master Plat for the Homestead Subdivision **(APPROVED)**
- SP2022-044: Exception for Building Height for a *Mini-Warehouse Facility* **(APPROVED)**

- Z2022-039: Zoning Change (AG to PD) for the Southside Hills Subdivision (**APPROVED; 1ST READING**)
- Z2022-040: SUP for a *Guest Quarters/Secondary Living Unit* at 2175 Arrowhead Court (**DENIED**)
- Z2022-041: SUP for a *Golf Driving Range* (**APPROVED; 1ST READING**)
- Z2022-040: SUP for a *Restaurant with Drive-Through or Drive-In* (**APPROVED; 1ST READING**)
- Z2022-043: Text Amendment to Article 09, *Tree Preservation*, of the UDC (**APPROVED; 1ST READING**)

(VI) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on September 23, 2022 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS SEPTEMBER 13, 2022 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.
6

7 I. CALL TO ORDER

8
9 **Chairman Thomas called the meeting to order at 6:01 PM. Commissioners present were John Womble, Jean Conway, Brian Llewellyn, Ross Hustings, and Derek Deckard. Absent from the meeting was Jerry Welch. Staff members present were Director of Planning and Zoning Ryan Miller, Planners Henry Lee and Bethany Ross, Planning Coordinator Angelica Gamez, City Engineer Amy Williams, Civil Engineer Sarah Johnston, and Assistant City Engineer Jonathan Browning.**
12

14 II. APPOINTMENTS

16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
17 the agenda requiring architectural review.
18

19 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.**
20

22 III. OPEN FORUM

23
24 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*
27

29 **Chairman Thomas explained how open forum is conducted and asked if anyone wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed the open forum.**
30

32 IV. CONSENT AGENDA

34 *These agenda items are administrative in nature or include cases that meet all the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*
36

37 2. Approval of minutes for the August 30, 2022 Planning and Zoning Commission meeting.
38

39 3. P2022-012 (ANGELICA GAMEZ)

40 Consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1, 2, & 3, Block A, Arkoma Addition being a 2.90-acre parcel of land being a portion of a larger 11.723-acre tract of land identified as Tract 5 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District land uses, addressed as 228, 302, & 306 W. Quail Run Road, and take any action
43 necessary.
44

45 4. P2022-037 (BETHANY ROSS)

46 Consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Preliminary Plat for the Quail Hollow Subdivision consisting of 250 single-family residential lots on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 96 (PD-96) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.
51

52 5. P2022-039 (BETHANY ROSS)

53 Consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of Larry Hance of R & R Investments for the approval of a Master Plat for the Quail Hollow Subdivision consisting of 250 single-family residential lots on a 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 96 (PD-96) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.
57

59 6. P2022-041 (HENRY LEE)

60 Consider a request by Wayne Terry of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperation for the approval of a Preliminary Plat for Lots 1-4, Block A, REC Campus Addition being a 99.849-acre tract of land identified as a Lots 6-9, Block 1, Rayburn Country Addition and Tract 3 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) and Commercial (C) District,
62

63 situated within the SH-205 Overlay (SH-205 OV) District, located at the northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road, and
64 take any action necessary.

65
66 **7. P2022-042 (HENRY LEE)**

67 Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Peter H. Shaddock, Jr. of SH Dev Klutts Rockwall, LLC for the approval of a
68 Preliminary Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of
69 Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and
70 FM-1139, and take any action necessary.

71
72 **8. P2022-043 (HENRY LEE)**

73 Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Peter H. Shaddock, Jr. of SH Dev Klutts Rockwall, LLC for the approval of a
74 Master Plat for the Homestead Subdivision being a 196.009-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of
75 Rockwall, Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and
76 FM-1139, and take any action necessary.

77
78 **9. SP2022-048 (HENRY LEE)**

79 Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of Peter Shaddock, Jr. of SH Dev Klutts Rockwall, LLC for the approval of a Site
80 Plan for the Homestead Subdivision being a 129.453-acre tract of land identified as Tract 6 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall,
81 Rockwall County, Texas, zoned Planned Development District 92 (PD-92), generally located at the northeast corner of the intersection of FM-549 and FM-1139,
82 and take any action necessary.

83
84 **10. SP2022-046 (HENRY LEE)**

85 Consider a request by Logan Ortiz of LLEAD Services on behalf of Wayne Mark and Rachel Reynolds for the approval of a Site Plan for an Office Building on a
86 0.230-acre parcel of land identified as Lot 30, Block 22, Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-
87 50) for Residential-Office (RO) District land uses, addressed as 703 N. Goliad Street [SH-205], and take any action necessary.

88
89 **Vice-Chairman Deckard made a motion to approve the consent agenda. Commissioner Llewelyn seconded the motion which passed by a vote of 6-**
90 **0.**

91
92 **V. PUBLIC HEARING ITEMS**

93
94 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please*
95 *submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning*
96 *Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments*
97 *to three (3) minutes out of respect for the time of other citizens.*

98
99 **11. Z2022-039 (RYAN MILLER)**

100 Hold a public hearing to discuss and consider a request by Brian Cramer of Corson Cramer Development on behalf of Scott Asbury of Rockwall Highgate LTD
101 for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District and Commercial
102 (C) District land uses on a 264.510-acre tract of land identified as Tracts 17-13 [50.0-acres], 17-14 [26.452-acres], 17-15 [134.33-acres], 17-16 [43.6-acres], &
103 40-8 [8.79-acres] of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the east
104 side of SH-205 (S. Goliad Street) south of the intersection of SH-205 and FM-549, and take any action necessary.

105
106 **Director of Planning and Zoning Ryan Miller provided a summary and background regarding the request. The applicant has submitted an application**
107 **requesting to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District**
108 **and limited Commercial (C) District land uses. The purpose of this request is to establish a 384-lot subdivision that will consist of five (5) lot types:**
109 **43, 130' x 240' lots; 26, 110' x 190' lots; 66, 80' x 115' lots; 43, 80' x 110' lots; 206, 62' x 110' lots. This all equates to a density of 1.45 dwelling units**
110 **per acre. The request conforms to the majority of the applicable codes with the exception of the garage orientation. Staff mailed out 41 notices to**
111 **property owners and occupants within 500-feet of the subject property. Staff has since received 1 property owner notification and 1 email in favor of**
112 **the applicant's request inside the 500-foot buffer, 7 property owner notifications opposed to the applicant's request inside the 500-foot buffer, and 3**
113 **additional notices outside of the 500-foot buffer opposed to the applicant's request. Director Miller advised that the applicant and staff were present**
114 **and available to answer questions.**

115
116 **Brian Cramer**
117 **10670 Central Expressway**
118 **Dallas, TX 75231**

119
120 **Mr. Cramer came forward and provided additional details regarding the request.**

121
122 **Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time.**

123
124 **Cody Barrack**
125 **5459 S. FM 549**
126 **Rockwall, TX 75032**

127 **Mr. Barrack came forward and expressed that they appreciated the support they've gotten on the concept plan. He also expressed his concerns in**
128 **regard to traffic.**

129
130 **Tim McCallum**

131 5140 Standing Oak Lane
132 Rockwall, TX 75032
133

134 Mr. McCallum came forward and expressed that this concept plan was more appropriate than the one presented before. He also stated that he was
135 in support of the cul-de-sacs in the neighborhood.
136

137 Amanda Torres
138 3905 Stableglen Drive
139 Rockwall, TX 75032
140

141 Mrs. Torres came forward and expressed her opposition to the request.
142

143 Chairman Thomas asked if anyone else wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed
144 the public hearing and brought the item back to the Commission for discussion or action.
145

146 Mr. Cramer came forward and addressed the comments made by the public.
147

148 Vice-Chairman Deckard wanted to address the cul-de-sac issue made by the public.
149

149 Commissioner Llewelyn asked about the alignment of FM 549. He also asked if the Commission was approving the concept plan or the zoning.
150

151 Vice-Chairman Deckard made a motion to approve Case Z2022-039. Commissioner Conway seconded the motion which passed by a vote of 6-0.
152

153 Chairman Thomas indicated that this item will go before the City Council on September 19, 2022.
154

155 12. Z2022-040 (ANGELICA GAMEZ)

156 Hold a public hearing to discuss and consider a request by Monica Hernandez and Richard Crossley for the approval of a *Specific Use Permit (SUP)* for a *Guest*
157 *Quarters/Secondary Living Unit* and *Detached Garage* on a 1.4945-acre parcel of land identified as Lot 2, Block A, Oaks of Buffalo Way Addition, City of
158 Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 2175 Arrowhead Court, and take any action necessary.
159

160 Planning Coordinator Angelica Gamez provided a brief summary in regard to the request. The subject property is addressed as 2175 Arrowhead
161 Court in the Oaks of Buffalo Way subdivision. The applicants are requesting approval of a Specific Use Permit for a Guest Quarters/Secondary Living
162 Unit and Detached Garage that exceeds the overall maximum allowable square footage. The applicant has stated that this will be a garage/showroom
163 for high end cars; however, there is a bathroom and separate living area in the proposed garage which are 2 elements of a dwelling unit and qualify
164 this request as a Guest Quarters/Secondary Living Unit. According to the UDC, guest quarters are allowed to be up to 30% of the primary structure
165 and Detached Garages are allowed to be up to 625 square feet. In this case, the applicant is requesting a 4,230 SF Guest Quarters/Detached Garage
166 which exceeds the permitted size of a Guest Quarters by 2,790 SF and represents 88.09% of the primary structure. The proposed structure also
167 exceeds the maximum permitted size of a Detached Garage by 3,605 SF. Staff also found 2 Detached Garages within the subdivision where one is
168 1600 SF and the other is 1886 SF and is directly adjacent to the subject property. There are no other structures similar to the size that the applicant
169 is proposing. Planning Coordinator Gamez indicated this is a discretionary decision for the City Council pending a recommendation from the
170 Planning and Zoning Commission. Staff mailed out notices were sent out to property owners and occupants within 500-feet of the subject property
171 as well as to the Oaks of Buffalo Way HOA. At this time, staff had received 3 property owner notifications in favor of the applicants request and 1
172 property owner notification in opposition of the applicants request.
173

174 Vice-Chairman Deckard asked if there had been any other structures similar in size approved in the City.
175

176 Monica Hernandez
177 7821 Pennington Court
178 Plano, TX 75025
179

180 The applicant came forward and provided additional details in regard to the request.
181

182 Chairman Thomas asked if anyone wished to speak to come forward at this time; there being no one indicating such, Chairman Thomas closed the
183 public hearing and brought the item back to the Commission for discussion or action.
184

185 Commissioner Llewelyn stated that there could be concerns of potentially turning the garage into a guesthouse in the future.
186

186 Commissioner Womble expressed his being in opposition to the request due to the size.
187

187 Vice-Chairman Deckard had concerns about the garage turning into a guest quarters in the future. He was worried about it setting a precedent in the
188 future.
189

189 Commissioner Conway was worried about the precedent it would set as well.
190

190 Commissioner Llewelyn asked if the applicant needed to come back with the request if they were to attach a breezeway.
191

191 Commissioner Hustings asked if the applicant was willing to decrease the size of the garage.
192

193 Vice-Chairman Deckard made a motion to deny Case Z2022-040. Commissioner Womble seconded the motion to deny which passed by a vote of 6-
194 0.
195

196 Director Miller indicated that this item will go before the City Council on September 19, 2022 and will require a ¾ majority vote.
197

198 13. Z2022-041 (RYAN MILLER)

199 Hold a public hearing to discuss and consider a request by Renee Ward, PE of Weir & Associates, Inc. on behalf of Conor Keilty, AIA of Structured REA-
200 Rockwall Land, LLC for the approval of a Specific Use Permit (SUP) for a Golf Driving Range on an 7.955-acre tract of land being portions of a larger 18.131-
201 acre tract of land and a 12.868-acre tract of land identified as Tract 22 & 22-2 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County,
202 Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located near the terminus of Fit Sport Life Boulevard, and
203 take any action necessary.
204

205 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the request. The applicant is requesting a Specific Use Permit for
206 a golf driving range for the purpose of constructing an entertainment venue that will consist of commercial indoor amusement, restaurants, banquet
207 facility and event hall, and a golf driving range. According to the UDC, all of these uses are permitted by-right in a Commercial (C) District with the
208 exception of the golf driving range. Director Miller indicated that a Specific Use Permit is a discretionary decision for the City Council pending a
209 recommendation from the Planning and Zoning Commission. Staff mailed out 12 notices to property owners and occupants within 500-feet of the
210 subject property. Staff has not received any noticed in regard to the request.
211

212 Renee Ward
213 2201 E. Lamar Blvd.
214 Arlington, TX 76006
215

216 Ms. Ward came forward and was prepared to answer questions.
217

218 Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one indicating
219 such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.
220

221 Commissioner Hustings made a motion to approve Case Z2022-040. Commissioner Llewelyn seconded the motion which passed by a vote of 6-0.
222

223 Chairman Thomas indicated this case will go before the City Council on September 19, 2022.
224

225 14. Z2022-042 (ANGELICA GAMEZ)

226 Hold a public hearing to discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of a Specific Use Permit (SUP) for a
227 Restaurant with 2,000 SF or more with a Drive-Through or Drive-In on an 8.684-acre portion of a larger 36.428-acre tract of land identified as Tract 3 of the S.
228 King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR)
229 District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run
230 Road and N. Goliad Street [SH-205], and take any action necessary.
231

232 Planning Coordinator Angelica Gamez provided a brief summary in regard to the request. The applicant is requesting approval of a Specific Use
233 Permit for a Restaurant more than 2000 SF with a Drive Through located north of the intersection of E. Quail Run Road and N. Goliad Street. The
234 subject property is zoned Planned Development District 70 for General Retail District land uses. The concept plan submitted shows conformance to
235 all of the Land Use Conditions as stipulated by Article 04, Permissible Uses of the UDC. Staff would like to note that the applicant addressed all
236 comments in regard to adding shrubs and 3 tier screening along the northern, eastern, and southern property lines as well as changing the parking
237 configuration. Overall the request appears to conform to all of the requirements of Planned Development District 70 and the UDC. On August 23,
238 2022, staff mailed out 74 notices to property owners and occupants within 500 feet of the subject property. Staff also notified all HOAs within 1500-
239 feet of the subject property. As of tonight, staff had received the following: 3 property owner notifications and 2 emails within the 500-foot buffer in
240 opposition to the request; 1 email from a property owner within 500-foot buffer in favor of the applicants request; 1 email and 1 response to the
241 online Zoning and SUP Input Form from a property owner outside of the 500-foot buffer opposed to the applicants request.
242

243 Chairman Thomas asked if there were any variances being requested.
244 Commissioner Conway wanted clarification on the location of the subject property.
245

246 Bowen Hendrix
247 4403 N. Central Expressway
248 Dallas, TX 75205
249

250 Mr. Hendrix came forward and provided additional details in regard to the request.
251

252 Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one indicating
253 such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.
254

255 Commissioner Llewelyn made a motion to approve Case Z2022-042. Commissioner Conway seconded the motion which passed by a vote of 6-0.
256

257 Chairman Thomas indicated this case will go before the City Council on September 19, 2022.
258

259 15. Z2022-043 (RYAN MILLER)

260 Hold a public hearing to discuss and consider approval of a Text Amendment to Article 09, Tree Preservation, of the Unified Development Code (UDC) [Ordinance
261 No. 20-02] and take any action necessary.
262

263 Director of Planning and Zoning Ryan Miller stated that a 15-day notice was sent out that was posted in the paper in accordance with the requirements
264 of the Texas Local Government Code.
265

266 Director of Parks and Recreation Travis Sales provided a brief summary in regard to the request. He went over the major changes taking place in the
267 Text Amendment of Article 09, Tree Preservation, of the UDC.
268

269 Chairman Thomas opened the public hearing and asked anyone who wished to speak to come forward at this time; there being no one indicating
270 such, Chairman Thomas closed the public hearing and brought the item back to the Commission for discussion or action.
271

272 Vice-Chairman Deckard made a motion to approve Case Z2022-043. Commissioner Conway seconded the motion which passed by a vote of 6-0.
273

274 Chairman Thomas indicated this case will go before the City Council on September 19, 2022.
275

276 VI. ACTION ITEMS
277

278 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special*
279 *exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*
280

281 16. P2022-040 (HENRY LEE)

282 Discuss and consider a request by Harold Fetty of HD Fetty Land Surveyor, LLC on behalf of Felipe Garcia for the approval of a *Final Plat* for Lots 1, 2, & 3,
283 Block A, Garcia-Herrera Addition being a 11.13-acre tract of land identified as Tract 8-02 of the Johnson Survey, Abstract No. 129, Rockwall County, Texas,
284 situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ), addressed as 675 Linda Lane, and take any action necessary.
285

286 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the request. The applicant is requesting to final plat a tract located
287 in the City of Rockwall's Extraterritorial Jurisdiction. The applicants are proposing to subdivide a tract of land into three (3) lots. The reason why this
288 item is not on the consent agenda is because they are requesting a variance to the frontage. The Commission's involvement in the process is that
289 they would be sending a recommendation concerning the requested variance and the plat itself.
290

291 Commissioner Llewelyn wanted clarification on the configuration of the lots.

292 Commissioner Womble wanted explanation regarding the 150-foot rule.
293

294 Commissioner Conway made a motion to approve Case P2022-040. Chairman Thomas seconded the motion which passed by a vote of 6-0.
295

296 Chairman Thomas indicated this case will go before the City Council on September 19, 2022.
297

298 17. SP2022-043 (BETHANY ROSS) *[POSTPONED TO THE SEPTEMBER 27, 2022 MEETING]*

299 Discuss and consider a request by Paul Cragun of Cumulus Design on behalf of Campfire Shops, LLC for the approval of a *Site Plan* for a *Carwash, Restaurant,*
300 *and Commercial/Retail Shopping Center* on a 2.003-acre parcel of land identified Lot 4, Block A, Wal-Mart Super Center Addition, City of Rockwall, Rockwall
301 County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated along the east side of White Hills Drive south of
302 Suncrest Drive, and take any action necessary.
303

304 Director of Planning and Zoning Ryan Miller indicated that the case is being postponed until September 27, 2022.
305

306 18. SP2022-044 (BETHANY ROSS)

307 Discuss and consider a request by Bob Pruet of Urban Structure on behalf of Garrett Poindexter of Cambridge Properties, LLC for the approval of a *Site Plan*
308 for a *Mini-Warehouse Facility* on a 3.682-acre tract of land being a portion of a larger 7.154-acre tract of land identified as Tract 3 of the J. M. Allen Survey,
309 Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 10 (PD-10) for Commercial (C) District land uses, situated within
310 the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, situated at the southeast corner of the intersection of John
311 King Boulevard and Discovery Boulevard, and take any action necessary.
312

313 Planner Bethany Ross provided a brief summary in regard to the request. The applicant is requesting approval of a site plan for the purpose of
314 constructing a mini-warehouse facility with an office component within Building A. The proposed site plan meets all of the requirements of the
315 Planned Development Ordinance and most of the requirements of the UDC. Planner Ross indicated the applicant is requesting four (4) variances to
316 the Overlay District standards and three (3) exceptions to the Conditional Land Use standards. She also added that ARB conditioned their approval
317 with the applicant finishing the parapets on the back side on Buildings B & D. Requests for variances are a discretionary decision for the Planning
318 and Zoning Commission and a super majority vote will be needed for approval.
319

320 Commissioner Llewelyn wanted clarification on the number of units allowed.
321

322 Rick Jones
323 Advantage Storage
324

325 Mr. Jones came forward and provided additional details regarding the request.
326

327 Commissioner Llewelyn made a motion to approve Case SP2022-044 with the ARB recommendation of a parapet on all 4 sides of every building.
328 Vice-Chairman Deckard seconded the motion which passed by a vote of 6-0.
329

330 Director Miller advised that this case will have to go before the City Council on September 19, 2022.
331

332 19. SP2022-045 (HENRY LEE) *[POSTPONED TO THE OCTOBER 11, 2022 MEETING]*

333 Discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of a Site Plan for a *Restaurant* on a 1.1308-acre parcel of land
334 identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail
335 (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary.
336

337 **Director of Planning and Zoning Ryan Miller indicated that the case is being postponed until October 11, 2022.**
338

339 20. **SP2022-047 (HENRY LEE)**

340 Discuss and consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Alvaplast US, Inc. for the approval of a
341 Site Plan for an *Industrial Building* on a 43.00-acre parcel of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned
342 Light Industrial (LI) District, addressed as 1200 E. Washington Street and 501 Industrial Boulevard, and take any action necessary.
343

344 **Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the request. The applicants are proposing to add a 148,000 square-**
345 **foot industrial warehouse building. It will have limited visibility from Washington Street in the future. This building does meet all the requirements**
346 **with the exception of a few variances; however, these are not atypical of larger industrial buildings. Variances and exceptions are a discretionary**
347 **decision and do require a super majority vote for approval. Director Miller advised that the applicant and staff were present and available to answer**
348 **questions.**
349

350 **Commissioner Conway wanted clarification on the compensatory extra landscaping.**
351

352 **Arlyn Samuelson**
353 **2901 Dallas Parkway**
354 **Plano, TX 75093**
355

356 **Mr. Samuelson came forward and provided additional details in regard to the request.**
357

358 **Commissioner Llewelyn made a motion to approve Case SP2022-047. Chairman Thomas seconded the motion which passed by a vote of 6-0.**
359

360 21. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
361

- 362 • P2022-038: Conveyance Plat for Lot 1, Block A, Park Station Addition [APPROVED]
- 363 • Z2022-036: Specific Use Permit (SUP) for an *Agricultural Accessory Structure* on Breezy Hill Lane [APPROVED; 2nd READING]
- 364 • Z2022-037: Zoning Change (AG, 2F, & LI to PD) for the Park Hills Subdivision [APPROVED; 2nd READING]
- 365 • Z2022-038: Amendment to Planned Development District 93 (PD-93) [APPROVED; 2nd READING]
- 366

367 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**
368

369 VII. ADJOURNMENT
370

371 **Chairman Thomas adjourned the meeting at 7:37 pm.**
372

373 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
374 _____, 2022.
375

376 _____
377 Sedric Thomas, Chairman

378 Attest:
379 _____
380 Angelica Guevara, Planning Coordinator
381



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: September 27, 2022
APPLICANT: Ryan Miller; *City of Rockwall*
CASE NUMBER: P2022-050; *Final Plat for Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition*

SUMMARY

Discuss and consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition being a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the southwest corner of the intersection of John King Boulevard and FM-1141, and take any action necessary.

PLAT INFORMATION

- In accordance with the Chapter 380 Economic Development Agreement executed by the City of Rockwall on March 8, 2022, the City is requesting the approval of a Final Plat for a 5.812-acre parcel of land for the purpose of creating two (2) lots (*i.e. Lots 1 & 2, Block A, Boys and Girls Club Addition*) from a 5.812-acre tract of land (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*). Based on the requirements of the agreement one (1) of the lots (*i.e. Lot 2, Block A*) -- being a 4.812-acre parcel of land -- will be swapped for a 5.07-acre tract of land (*i.e. Tract 2-06 of the D. Harr Survey, Abstract No. 102*) to facilitate the possible development of a new facility for the Boys and Girls Club of America. The remaining lot (*i.e. Lot 1, Block A*) along with the 5.07-acre tract of land (*i.e. Tract 2-06 of the D. Harr Survey, Abstract No. 102*) will be retained by the City of Rockwall.
- The subject property was annexed on May 19, 1986 by *Ordinance No. 86-37 [i.e. Case No. A1986-005]*. The remainder of the subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [i.e. Case No. A1998-001]*. At the time of annexation both portions of the subject property were zoned Agricultural (AG) District. In 2007-2008, the City of Rockwall acquired the subject property -- which was a portion of a larger 6.702-acre tract of land (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*) -- for the future right-of-way of John King Boulevard. When John King Boulevard was constructed, the subject property was established in its current configuration. The subject property has remained vacant since its annexation. On February 7, 2022, the City Council approved a motion directing the City Manager to enter into a Chapter 380 Economic Development Agreement with the owner of the tract of land located at the southeast corner of the intersection of Airport Road and John King Boulevard for the purpose of swapping a portion of the subject property for his 5.07-acre tract of land (*i.e. Tract 2-06 of the D. Harr Survey, Abstract No. 102*) to facilitate the possible development of a future facility for Boys and Girls Club of America. This agreement was signed and executed by the City and Saro Partners, LLC on March 8, 2022. In accordance with this agreement, the City Council approved *Ordinance No. 22-20 [i.e. Case No. Z2022-011]* changing the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District on April 4, 2022.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Final Plat -- conforming to the requirements for plats as stipulated by the *Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance in the Municipal Code of Ordinances*.

CONDITIONS OF APPROVAL

If Planning and Zoning Commission chooses to recommend approval of the Final Plat for the *Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: P2022-050
PROJECT NAME: Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Angelica Gamez
CASE MANAGER PHONE: 972-772-6438
CASE MANAGER EMAIL: agamez@rockwall.com

CASE CAPTION: Discuss and consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition being a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the southwest corner of the intersection of John King Boulevard and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Gamez	09/22/2022	Approved w/ Comments

09/22/2022: P2022-050: Final Plat for Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 Discuss and consider a request by the City of Rockwall for the approval of a Final Plat for Lots 1 & 2, Block A, Boys and Girls Club of Rockwall Addition being a 5.812-acre tract of land identified as Tract 9 of the M. B. Jones Survey, Abstract No. 122, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located at the southwest corner of the intersection of John King Boulevard and FM-1141, and take any action necessary.
- I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email agamez@rockwall.com.
- M.3 For reference, include the case number (P2022-050) in the lower right-hand corner of all pages on future submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 Please indicate the building setbacks along FM 1141 and John King Blvd. (Subsection 10.05, Chapter 38, Subdivisions, of the Municipal Code of Ordinances)
- M.5 Please add the street centerline to John King Blvd. (Subsection 10.03, Chapter 38, Subdivisions, of the Municipal Code of Ordinances)
- M.6 Please add a line for the Planning and Zoning Chairman and a line for the date to the Plat Approval Signatures. (Subsection 10.11, Chapter 38, Subdivisions, of the Municipal Code of Ordinances)
- I.7 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Chapter 38 of the Municipal Code of Ordinances that are applicable to the subject property.
- M.8 Please review and correct all items listed by the Engineering Department.
- I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting date for this case will be held on September 27, 2022.
- I.10 The projected City Council Meeting date for this case will be October 3, 2022.
- I.11 A representative is required to attend all meetings.
- I.12 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: - Need to show and label flood plain with cross-section elevations and make a drainage easement around it. Easement will include the erosion hazard set back. Call out source of floodplain data.

- Additional easements may be required when property is developed.

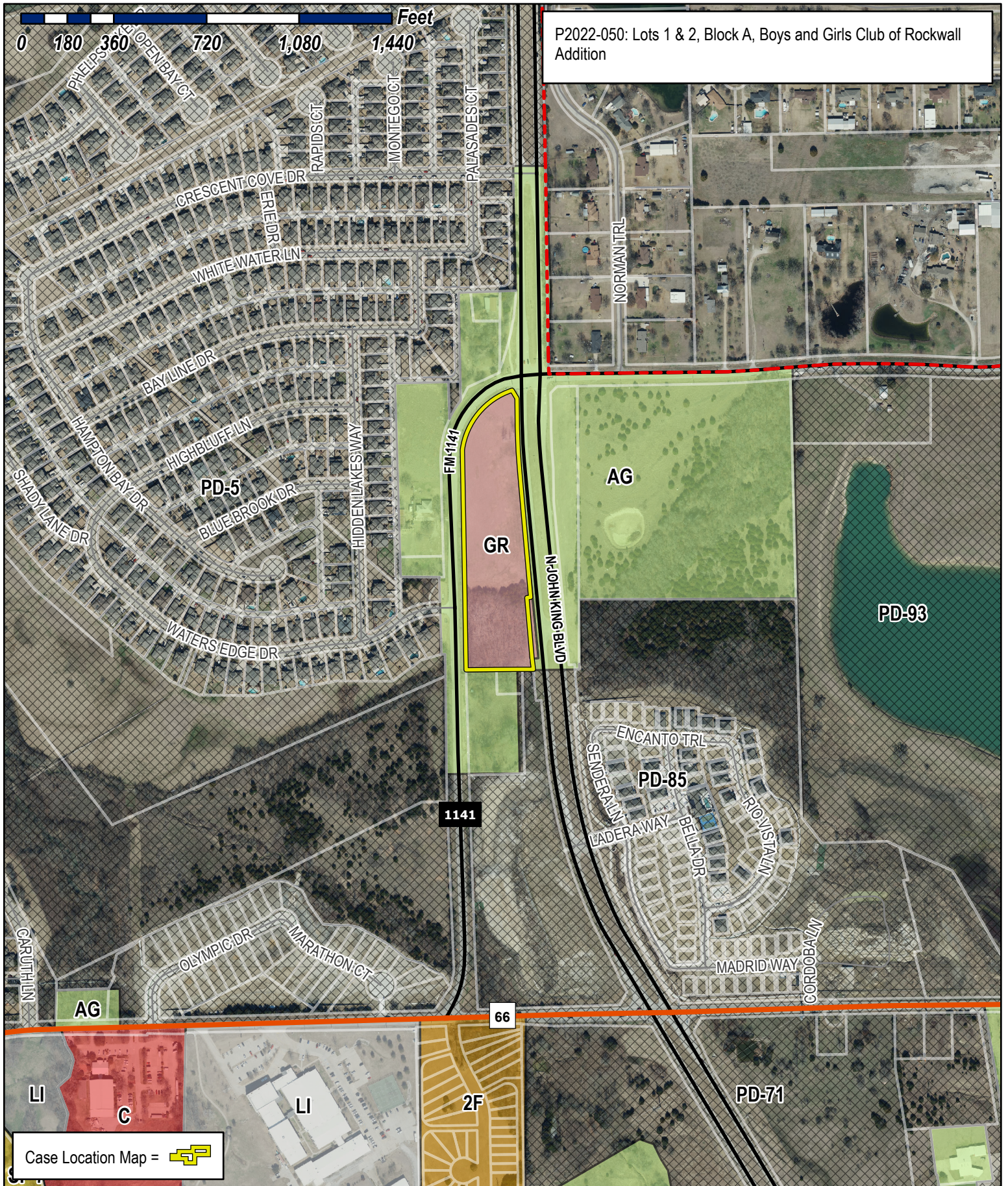
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/20/2022	Approved w/ Comments
09/20/2022: Some plat street name corrections. Should be: Crystal Lake Dr. Hidden Lakes Way North John King Blvd.			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/20/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/22/2022	Approved
No Comments			



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT

This **CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT** (hereinafter referred to as the *Agreement*) is entered into by and between the **CITY OF ROCKWALL, TEXAS**, a Texas home-rule municipality (hereinafter referred to as the *City*) and **SARO PARTNERS, LLC** [a Texas limited liability company], (hereinafter referred to as the *Developer*). The *City* and *Developer* are collectively referred to in this *Agreement* as the *Parties*.

WHEREAS, the *City* owns approximately 4.18-acre tract of land (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*) -- depicted in Exhibit 'A' attached hereto and incorporated herein for all purposes (the *City's Property*), which is part of a larger portion of a 5.702-acre tract of land in the City of Rockwall located at the southwest corner of John King Boulevard and FM-1141; and

WHEREAS, the *Developer* owns approximately 5.07-acre tract of land (*i.e. Tract 2-06 of the D. Harr Survey, Abstract No. 102*) -- depicted in Exhibit 'B' attached hereto and incorporated herein for all purposes (the *Developer's Property*), which is in the City of Rockwall at the southeast corner of Airport Road and John King Boulevard; and

WHEREAS, the *Developer's Property* is located in the Airport Runway Protection Zone of the Ralph Hall Municipal Airport, which limits the type of development that can be developed on the *Developer's Property*, including the development of an assembly type land use (*i.e. the Boys and Girls Club*); and

WHEREAS, the *Developer* has offered to exchange the *Developer's Property* for the *City's Property* in order to allow for the development of a Boys and Girls Club facility (the *Project*) based on the agreed to terms of an executed **CHAPTER 380 ECONOMIC DEVELOPMENT AGREEMENT** between the *City* and the *Developer*; and

WHEREAS, the *City* has determined that the development of the *Project* will be a benefit to the *City* and will promote economic development in the area; and

WHEREAS, in accordance with Section 52-a, *Programs and Loans or Grants of Public Money for Economic Development*, of Article 3, *Legislative Department*, of the Texas Constitution and Section 380.001 of the Texas Local Government Code, the *City* has established a program to provide for the administration of programs to promote state or local economic development and to stimulate business and commercial activity in the *City*; and

WHEREAS, to ensure that the benefits the *City* provides under this *Agreement* are utilized in a manner consistent with Section 52-a, *Programs and Loans or Grants of Public Money for Economic Development*, of Article 3, *Legislative Department*, of the Texas Constitution and Chapter 380, *Miscellaneous Provisions Relating to Municipal Planning and Development*, of the Texas Local Government Code, the *Developer* has agreed, to receive such benefits, to cooperate with the *City* in the design and construction of certain public improvements; and

WHEREAS, the *City* acknowledges that the provisions of this *Agreement* substantially advance a legitimate interest of the *City* by providing public infrastructure, expanding the tax base of the *City* and promoting economic development.

NOW, THEREFORE, for and in consideration of the above recitals and the terms and conditions set forth below, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the *City* and the *Developer* hereby agree as follows:

(1) PROJECT.

(A) Jurisdiction. The design, specifications and ordinances for the *Project* applicable in the City of Rockwall shall apply to the *Project*, except where the City of Rockwall City Council concurs in writing the application of differing requirements and specifications.

(B) Property for the Project. The *City Property* for the *Project* consists of a 4.18-acre acre tract of land (*i.e. Tract 9 of the M. B. Jones Survey, Abstract No. 122*) -- depicted in Exhibit A attached hereto and incorporated herein for all purposes,

which is part of a larger portion of a 5.702-acre tract of land in the City of Rockwall located at the southwest corner of John King Boulevard and FM-1141.

(C) Conditions Precedent. This *Agreement* and the *Developer's* obligation to execute the *Project* are subject to the following conditions:

- (I) The *City* will initiate zoning procedures to rezone the *City's Property* from an Agricultural (AG) District to a Commercial (C) District. This zoning change would be in accordance with the *City's Future Land Use Map* contained in the *OURHometown Vision 2040 Comprehensive Plan*, and would allow the requested land uses (*i.e. a Daycare with Seven [7] or More Children/Office*) needed for the *Project*.
- (II) Upon the zoning being approved on the *City's Property*, the *City* and *Developer* will legally document the exchange of the *City's Property* for the *Developer's Property*. This exchange of property will secure a portion of the Airport Runway Protection Zone of the Ralph Hall Municipal Airport.
- (III) Once the *Developer* is in possession and has acquired ownership of the *City's Property*, the Boys and Girls Club will have 36-months from the date of the exchange of property to begin developing the *City's Property* with the *Project*. Once the *Project* has commenced, *Developer* shall have 24-months to complete the *Project*.

(D) Return of City Property. Should the *Project* fail to commence within 36-months from the date the exchange of the property or if the *Parties* do not extend the term to commence the *Project*, the *Developer* will reconvey the *City's Property* back to the City of Rockwall at no cost to the *City* and the *City* will reconvey the *Developer's Property* back to the *City* at no cost to the *Developer*. If the *City* returns the *Property* to *Developer*, *Developer* must comply with the regulations of the Airport Runway Protection Zone on any future development of the returned *Developer's Property*.

(E) Plans and Approvals. The *Developer* shall be responsible for pursuing and obtaining the necessary plats, site plan approvals and all other approvals and permits required from the *City* which are necessary for construction of the improvements for the development for the *Project* as well as all occupancy and use permits required to allow the development and occupancy of the *Project*.

(F) Construction. If sufficient funds are raised to proceed with the *Project*, the *Developer* shall require its construction contractor(s) to construct the *Project* in a good and workmanlike manner and in substantial accordance with the approved plans and specifications and shall diligently pursue the construction of the *Project* until it is completed. The *City* shall have the right to inspect the *Project* to confirm compliance with the approved plans and specifications and applicable *City* codes.

(2) DEFAULT.

(A) Notice and Opportunity to Cure. Notwithstanding anything herein to the contrary, no party shall be deemed to be in default hereunder until the passage of 30-days after receipt by such party of notice of default from the other party. Upon the passage of 30-days without cure of the default, such party shall be deemed to have defaulted for purposes of this *Agreement*, unless such party has commenced to cure such default and is prosecuting the same with reasonable diligence. Notwithstanding the foregoing, commencement of cure, with reasonable diligence, shall only prevent a party from being in default for 60-days after notice was received and a cure had not been achieved unless the non-defaulting party agrees to allow the defaulting party additional time to cure the default.

(B) Remedies. In the event of a default not cured within the time period set forth herein, the non-defaulting party may, as its sole and exclusive remedy, terminate this *Agreement* or seek injunctive relief of other equitable relief, including, without limitation, specific performance, to enforce the terms of this *Agreement*. Notwithstanding the foregoing, if injunctive or other equitable relief is barred by governmental immunity, then the *Developer* may pursue all other legal and equitable remedies that are not barred by governmental immunity; however, in no event shall a non-defaulting party be entitled to an award of damages or any other monetary relief. The foregoing remedies shall not be applicable to the facts set forth in Section (1)(D) above and the remedy set forth in such Section shall be the exclusive remedy of the *City* and the *Developer* for the facts set forth in that Section.

- (C) Attorney's Fees. In the event that the *Developer* and the *City* fail to resolve a dispute and become involved in litigation with regard to breach of or dispute arising out of this *Agreement*, the prevailing *Party* shall be entitled to be paid its reasonable attorneys' fees and court costs.

(3) DISPUTE RESOLUTION.

- (A) If a dispute arises out of or relates to this *Agreement* or the breach thereof, the *Parties* shall first in good faith seek to resolve the dispute through negotiation between the upper management of each respective *Party*. If such dispute cannot be settled through negotiation, the *Parties* agree to try in good faith to settle the dispute by mediation under the *Commercial Mediation Rules of the American Arbitration Association*, Dallas, Texas, before resorting to litigation, or some other dispute resolution procedure; provided that a *Party* may not invoke mediation unless it has provided the other *Party* with written notice of the dispute and has attempted in good faith to resolve such dispute through negotiation. Notwithstanding the foregoing, any *Party* may seek immediate equitable relief, without attempting to settle a dispute through mediation, in any case where such *Party* is entitled to equitable relief by law, the terms of the *Agreement*, or otherwise. All costs of negotiation, mediation, and arbitration collectively known as Alternate Dispute Resolution (ADR) shall be assessed equally between the *City* and *Developer* with each party bearing their own costs for attorneys' fees, experts, and other costs of ADR and any ensuing litigation.

(4) GENERAL PROVISIONS.

- (A) INDEMNIFICATION. THE *DEVELOPER* AGREES TO DEFEND, INDEMNIFY AND HOLD THE *CITY* AND ITS ELECTED OFFICIALS, OFFICERS, AGENTS AND EMPLOYEES (COLLECTIVELY THE *CITY*) HARMLESS FROM AND AGAINST ANY AND ALL REASONABLE LIABILITIES, DAMAGES, CLAIMS, DEMANDS, LAWSUITS, JUDGMENTS, ATTORNEY FEES, COSTS, EXPENSES AND ANY CAUSE OF ACTION OF ANY KIND AND NATURE, INCLUDING BUT NOT LIMITED TO, PERSONAL OR BODILY INJURY, DEATH AND PROPERTY DAMAGE, MADE UPON THE *CITY* DIRECTLY OR INDIRECTLY ARISING OUT OF, RESULTING FROM OR RELATED TO *DEVELOPER'S* ACTIVITIES UNDER THIS *AGREEMENT*, INCLUDING ANY ACTS OR OMISSIONS OF *DEVELOPER'S* AGENT, OFFICER, DIRECTOR, REPRESENTATIVE, EMPLOYEE, CONSULTANT OR CONTRACTOR OF THE *DEVELOPER*, AND THEIR RESPECTIVE OFFICERS, AGENTS EMPLOYEES, DIRECTORS AND REPRESENTATIVES WHILE IN THE EXERCISE OF PERFORMANCE OF THE RIGHTS OR DUTIES UNDER THIS *AGREEMENT*. THE INDEMNITY PROVIDED FOR IN THIS PARAGRAPH SHALL NOT APPLY TO ANY LIABILITY RESULTING FROM THE NEGLIGENCE OF THE *CITY*, ITS OFFICERS OR EMPLOYEES, IN INSTANCES WHERE SUCH NEGLIGENCE IS THE SOLE CAUSE OF PERSONAL INJURY, DEATH, OR PROPERTY DAMAGE.
- (B) THE PROVISIONS OF THE ABOVE SECTIONS ARE SOLELY FOR THE BENEFIT OF THE *PARTIES* HERETO AND NOT INTENDED TO CREATE OR GRANT ANY RIGHTS, CONTRACTUAL OR OTHERWISE, TO ANY OTHER PERSON OR ENTITY. IT BEING THE INTENTION OF THE *PARTIES* THAT THE *DEVELOPER* SHALL BE RESPONSIBLE FOR THE REPAYMENT OF ANY AMOUNTS PAID TO THE *DEVELOPER* HEREIN THAT INCLUDES *CITY* SALES TAX RECEIPTS THAT THE STATE OF TEXAS HAS DETERMINED WAS ERRONEOUSLY PAID, DISTRIBUTED OR ALLOCATED TO THE *CITY*.
- (C) Mutual Assistance. The *City* and the *Developer* will do all things and execute all documents reasonably necessary or appropriate to carry out the terms and provisions of this *Agreement* and to aid and assist each other in carrying out such terms and provisions.
- (D) Inconsistencies. Where any inconsistency exists between this *Agreement* and other provisions of subsequent collateral contractual agreements that are made a part hereof by reference or otherwise, the provisions of this *Agreement* shall control.
- (E) Rule of Construction. The *Parties* hereto acknowledge that each party and its legal counsel have reviewed and revised this *Agreement*, and the *Parties* hereby agree that the normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party shall not be employed in the interpretation of this *Agreement* or any amendments hereto.

(F) Independent Contractors and Immunity.

- (I) It is expressly understood and agreed by all *Parties* hereto that in performing their services hereunder, the *Developer* at no time will be acting as an agent of the *City* and that all consultants or contractors engaged by the *Developer* respectively will be independent contractors of the *Developer*; and nothing contained in this *Agreement* is intended by the *Parties* to create a partnership or joint venture between the *Parties* and any implication to the contrary is hereby expressly disavowed. The *Parties* hereto understand and agree that the *City* will not be liable for any claims that may be asserted by any third party occurring in connection with services performed by the *Developer* respectively under this *Agreement*, unless any such claims are due to the fault of the *City*.
- (II) By entering into this *Agreement*, the *Parties* do not waive, and shall not be deemed to have waived, any rights, immunities, or defenses either may have, including the defense of parties, and nothing contained herein shall ever be construed as a waiver of sovereign or official immunity by the *City* with such rights being expressly reserved to the fullest extent authorized by law and to the same extent which existed prior to the execution hereof.
- (III) No employee of the *City*, or any councilmember or agent of the *City*, shall be personally responsible for any liability arising under or growing out of this *Agreement*.

(G) Invalidity. If any provision of this *Agreement* is held to be invalid, illegal or unenforceable by a court or other tribunal of competent jurisdiction, the validity, legality, and enforceability of the remaining provisions shall not in any way be affected or impaired. The *Parties* shall use their best efforts to replace the respective provision or provisions of this *Agreement* with legal terms and conditions approximating the original intent of the *Parties*.

(H) Written Notice. All notices from one party to the other must be in writing and are effective upon receipt when mailed to or hand delivered as follows:

CITY: City of Rockwall
Attention: Mary Smith, *City Manager*
385 S Goliad Street
Rockwall, Texas 75087

CITY CC: Davidson Troilo Ream & Garza
Attention: Frank Garza, *City Attorney*
601 NW Loop 410 Suite 100
San Antonio, Texas 78216

DEVELOPER: Saro Partners, LLC
Attention: Shawn Valk
1450 T. L. Townsend Drive, Suite 100
Rockwall, Texas 75087

DEVELOPER CC: Holmes Firm PC
Attention: Ronald L. Holmes
14241 Dallas Parkway, Suite 800
Dallas, Texas 75254

NOTE: Either party may change its business address by providing at least 30 calendar days written notice to the other party of such change.

(I) Entire Agreement. It is understood that this *Agreement* and the *Exhibits* contain the entire agreement between the *Parties* and supersedes any and all prior agreements, arrangements, statements, promises, inducements, or understandings, whether oral or written, between the *Parties* relating to the subject matter. This *Agreement* cannot be

changed or terminated orally. No verbal agreement or conversation with any officer, agent or employee of the *City*, either before or after the execution of this *Agreement*, shall affect or modify any of the terms or obligations hereunder.

- (J) *Amendment*. No amendment to this *Agreement* shall be effective and binding unless and until it is reduced to writing, approved by the City Council, and signed by duly authorized representatives of both *Parties*.
- (K) *Choice of Law and Forum Selection*. This *Agreement* shall be governed, enforced and construed in accordance with laws of the State of Texas. Any and all contested matters arising out of this *Agreement* in any way shall be brought in the courts of Rockwall County, Texas, United States of America.
- (L) *Authority*. The *Developer* hereby certifies, represents, and warrants that the execution of this *Agreement* is duly authorized and adopted in conformity with its governing documents. The *City* hereby certifies, represents, and warrants that the execution of this *Agreement* is duly authorized and adopted in conformity with the *City* charter and ordinances. The *City's* execution of this *Agreement* is authorized by Chapter 380, *Miscellaneous Provisions Relating to Municipal Planning and Development*, of the Texas Local Government Code and constitutes a valid and binding obligation of the *City*. The *City* acknowledges that the *Developer* is acting in reliance upon the *City's* performance of its obligations under this *Agreement* in making the decision to commit substantial resources and money to the construction of the *Project*.
- (M) *Assignment*. The *Developer's* rights and obligations under this *Agreement* may be assigned by the *Developer* provided such assignment receives prior written approval of the City Council of the City of Rockwall, not to be unreasonably withheld, conditioned, delayed, or denied. Notwithstanding the foregoing, the *Developer* may, without the *City's* approval, assign any credits accruing to the *Developer* under this *Agreement*.
- (N) *Waiver*. Failure of either party, at any time, to enforce a provision of this *Agreement* shall in no way constitute a waiver of that provision nor in any way affect the validity of this *Agreement*, any part hereof, or the right of the *City* or the *Developer* thereafter to enforce each and every provision hereof. No term of this *Agreement* shall be deemed waived unless the waiver is in writing and signed by the party claimed to have waived such term. Furthermore, any consent to or waiver of a breach will not constitute consent to, waiver of, or excuse of any other different or subsequent breach.
- (O) *Force Majeure*. If performance of this *Agreement* or any obligation under this *Agreement* is prevented, restricted, or interfered with by causes beyond either party's reasonable control (*Force Majeure*), then the obligations of the party invoking this provision will be suspended to the extent necessary by such event. Events constituting *Force Majeure* include without limitation: acts of God, fire, explosion, vandalism, storm, casualty, illness, injury, general unavailability of materials or similar occurrence, orders or acts of military or civil authority, national emergencies, insurrections, riots, wars, strikes, lock-outs, or work stoppages. The excused party shall use reasonable efforts under the circumstances to avoid or remove such causes of non-performance and shall proceed to perform with reasonable dispatch whenever such causes are removed or ceased. An act or omission shall be deemed within the reasonable control of a party if committed, omitted, or caused by such party, or its employees, officers, agents or affiliates.
- (P) *Agreement Acknowledged*. The *Parties* acknowledge that they have read, understand and intend to be bound by the terms and conditions of this *Agreement*.
- (Q) *Multiple Originals*. This *Agreement* may be executed in multiple originals.
- (R) *Construction*. This *Agreement* shall be construed without the aid of any canon or rule of law requiring interpretation against the party drafting or causing the drafting of this *Agreement* or the portions of this *Agreement* in question.
- (S) *Incorporation of Recitals*. Any recitals in this *Agreement* are represented by the *Parties* to be accurate and constitute a part of the *Agreement*.
- (T) *Effective Date*. The effective date of this *Agreement* is the last signature date below (the *Effective Date*).

[SIGNATURE PAGES TO FOLLOW]

EXECUTED as of the dates indicated below in multiple originals:

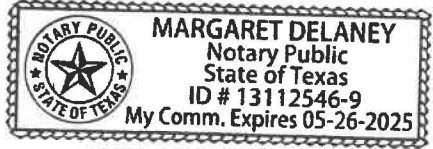
CITY:

CITY OF ROCKWALL, TEXAS,
a Texas home-rule municipality

By: Mary Smith
Name: Mary Smith
Title: City Manager
Date: 3/8/2022

ATTEST:

By: Kristy Cole
Name: Kristy Cole
Title: City Secretary
Date: 03/08/2022



STATE OF TEXAS
COUNTY OF ROCKWALL

This instrument was acknowledged before me on the 8th day of March, 2022, by Mary Smith, the City Manager of the City of Rockwall, a Texas municipal Corporation on behalf of such municipality.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 8th DAY OF March, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Margaret Delaney

MY COMMISSION EXPIRES: 05-26-2025

DEVELOPER:

SARO PARTNERS, LLC,
a Texas limited liability company
By: Shawn Valk
Name: Shawn Valk, Manager
Date: 2-2-2022

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, above signed authority, on this day personally appeared, *Shawn Valk*, the owner of the *Developer's Property*, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledge to me that he executed the foregoing *Agreement* for the purposes and consideration therein expressed, in the capacity stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 2 DAY OF March, 2022.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Annalyse Olson

MY COMMISSION EXPIRES: May 7, 2023

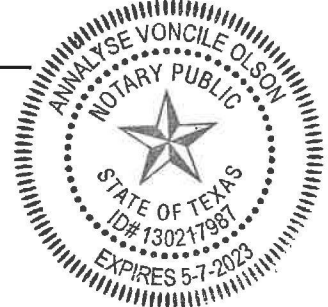
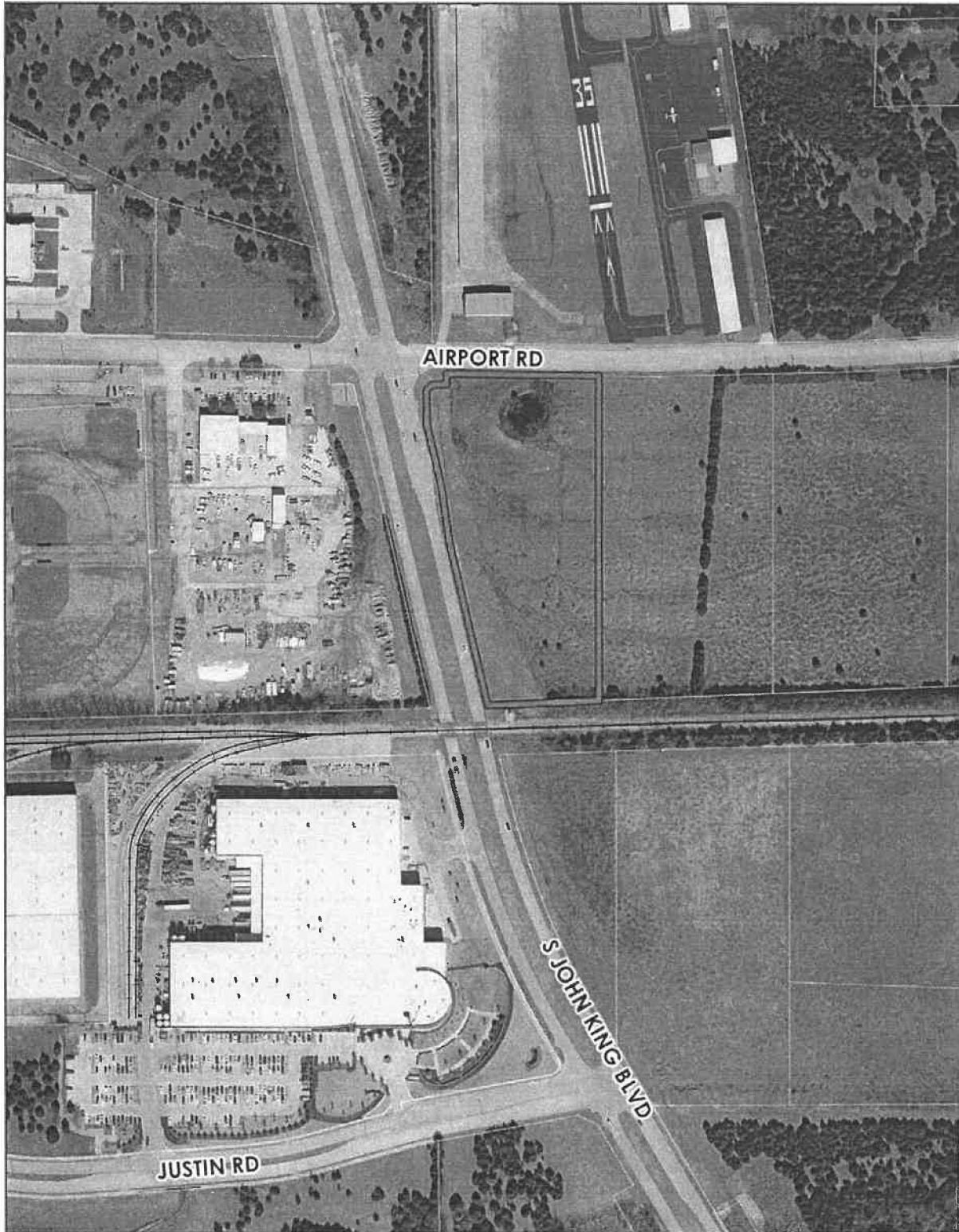


EXHIBIT 'A':
MAP OF THE CITY'S PROPERTY



EXHIBIT 'B':
MAP OF THE DEVELOPER'S PROPERTY



Filed and Recorded
Official Public Records
Jennifer Fogg, County Clerk
Rockwall County, Texas
03/08/2022 11:59:38 AM
\$58.00
2022000005160



Jennifer Fogg



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: September 27, 2022

SUBJECT: Z2022-044; *Amendment to Article 02, Development Review Authority, of the UDC and Article III, Boards, Commissions, Committees, of Chapter 2, Administration, of the Municipal Code of Ordinances.*

On September 6, 2022, the City Council directed staff to make changes to the qualification requirements for appointments to the Historic Preservation Advisory Board (HPAB). In response to this direction, staff has prepared an amendment that will remove the requirement that the HPAB's membership consist of: [1] an architect, planner or representative of a design profession, [2] a member of the Rockwall County Historical Foundation, [3] a general contractor, [4] an owner of property within a historic district, and [5] three (3) citizens of Rockwall interested in historic preservation. In addition, staff has removed the HPAB and Architectural Review Board's (ARB) organization requirements from Article 02, *Development Review Authority*, of the Unified Development Code (UDC) and placed them into Article III, *Boards, Commissions, Committees*, of Chapter 2, *Administration*, of the Municipal Code of Ordinances.

A redlined copy of the proposed changes along with a draft ordinance has been provided in the attached packet. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: September 27, 2022

Planning and Zoning Commission Public Hearing: October 11, 2022

City Council Public Hearing/First Reading: October 17, 2022

City Council Second Reading: November 7, 2022

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 27, 2022.



SECTION 05 | HISTORIC PRESERVATION ADVISORY BOARD

SUBSECTION 05.01: ORGANIZATION

For requirements concerning the Historic Preservation Advisory Board see Division 3, Historic Preservation Advisory Board, of Article III, Boards, Commissions, Committees, of Chapter 2, Administration, of the Municipal Code of Ordinances.

~~(A) Membership. There is hereby created a Historic Preservation Advisory Board (HPAB) which shall serve as an advisory body to the City Council. Such board shall consist of seven (7) members to be appointed by the City Council.~~

~~(B) Term of Office; Qualifications. The members shall be appointed for a term of two (2) years with staggered terms and shall be removable by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term, the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed. The membership shall include:~~

- ~~(1) An architect, planner or representative of a design profession;~~
- ~~(2) A member of the Rockwall County Historical Foundation;~~
- ~~(3) A general contractor;~~
- ~~(4) An owner of property within a historic district;~~
- ~~(5) Three (3) citizens of Rockwall interested in historic preservation.~~

~~(C) All board members, regardless of background, shall have a known and demonstrated interest, competence or knowledge of historic preservation within the City. All members must be residents of Rockwall County.~~

~~(D) Duties. The duties of the Historic Preservation Advisory Board (HPAB) are as follows:~~

- ~~(1) Provide professional recommendations to the City Council and Planning and Zoning Commission as required, regarding site plans, building alternatives, and building plans proposed within the City Historic Overlay (HOV) District. The Historic Preservation Advisory Board (HPAB) shall review site plans and building elevations placed before them within the time frame allowed for processing applications prior to submission to the Planning and Zoning Commission or City Council. The Historic Preservation Advisory Board (HPAB) shall prepare a written assessment of the proposed project regarding compliance with approved guidelines for development within the district, and its applicability in preserving and enhancing the history and culture of the district.~~
- ~~(2) Research, document and maintain in the official files of the City detailed information regarding the original construction and architecture of the district.~~
- ~~(3) Develop and maintain guidelines regarding development and redevelopment within the district including architectural design, materials selections, building styles and other pertinent design considerations. The proposed guidelines shall be submitted to~~

~~the Planning and Zoning Commission and City Council for approval.~~

- ~~(4) Adopt rules and procedures as necessary to provide for the orderly conduct of board meetings.~~
- ~~(5) Recommend the boundaries of historic districts.~~
- ~~(6) Increase public awareness of the value of historic, cultural, and architectural preservation by encouraging and participating in public education programs developed by the historic preservation office.~~
- ~~(7) Provide recommendations to the Planning and Zoning Commission and City Council concerning the historic preservation impact of proposed, announced or commenced actions by federal, state or local authorities that affect streets, alleys, publicly maintained utilities and any other public spaces, areas, improvements, other features or zoning within, around or through any district.~~
- ~~(8) Make recommendations to the City for the employment of staff and professional consultants as necessary to carry out the duties of the HPAB.~~
- ~~(9) Review and act on the designation of landmarks and the delineation of districts, which shall be ratified by the City Council.~~
- ~~(10) Recommend and confer recognition upon the owners of landmarks or properties within districts by means of certificates, plaques, or markers.~~
- ~~(11) Review and recommend to City Council and other applicable City Boards and Commissions all proposed changes to the Unified Development Code (UDC), building code, general plan or other adopted policies of the City that may affect the purpose of the Article.~~
- ~~(12) Conduct public hearings and provide comment on buildings, objects, sites, structures, and districts for nomination to the National Register of Historic Places to the Texas Historic Commission. Such recommendations shall be guided by the criteria established in the National Historic Preservation Act of 1966, as amended.~~
- ~~(13) Implement and maintain a system of survey or inventory of significant historic, architectural, and cultural landmarks and all properties located within designated districts located in the City. Such information shall be maintained securely, made accessible to the public and should be updated at least every ten (10) years.~~
- ~~(14) Monitor and report to the Texas Historical Commission all actions affecting any recorded Texas historic landmark, state archaeological landmark, national register property and any locally designated landmark, as deemed necessary.~~
- ~~(15) Create sub-committees from among its membership and delegate to these committees' responsibilities to carry out the purposes of this Article.~~
- ~~(16) Maintain written meeting minutes which are recorded by staff and demonstrate all actions taken by the HPAB and the reasons for taking such actions.~~



~~(17) Increase public awareness of the value of historic, cultural, and architectural preservation by developing and participating in public education programs.~~

~~(18) Review and act on all Certificates of Appropriateness (COA) applications for compliance with adopted design guidelines pursuant to this Article.~~

~~(19) Review and act on all appeals on action taken by the Historic Preservation Officer (HPO) regarding the administrative review of Certificates of Appropriateness (COA) applications for compliance with adopted design guidelines pursuant to this Article.~~

~~(20) Develop, prepare and adopt specific design guidelines which shall be ratified by the City Council, for use in the review of all Certificates of Appropriateness (COA) applications.~~

~~(21) Prepare and submit annually to the City Council a report summarizing budget costs, goals and objectives and work completed during the previous year, as well as anticipated budgetary requests.~~

~~(22) Provide recommendations to the City concerning the utilization of state, federal, or private funds to promote the preservation of landmarks and districts within the City.~~

~~(23) Recommend to City Council the acquisition of endangered landmarks by demolition where its preservation is essential to the purpose of this Article and where private preservation is not feasible.~~

~~(24) Propose incentive program(s) to City Council for local property owners of historic landmarks or within local districts.~~

~~(25) Review and act on all city preservation related incentive program applications involving work on landmarks and districts for compliance with adopted design guidelines pursuant to this Article.~~

~~(26) Accept on behalf of the City government donations of preservation easements and development rights as well as any other gift of value for the purpose of historic preservation, subject to the approval of City Council.~~

~~(E) Officers. The Historic Preservation Advisory Board (HPAB) shall elect a chairman and vice chairman at the first meeting in August or at the first meeting thereafter for a term of one (1) year. The Historic Preservation Officer (HPO) shall be secretary of the Historic Preservation Advisory Board (HPAB) and an ex-officio member.~~

~~(F) Voting; Meetings. Each member in attendance shall have a vote on plans submitted to the Historic Preservation Advisory Board (HPAB) with that vote reported to the Planning and Zoning Commission. Any member professionally or financially involved in matters pending before the Historic Preservation Advisory Board (HPAB) shall abstain from any discussion, consideration or vote on that item and shall leave the room during such discussion and consideration. Meetings of the Historic Preservation Advisory Board (HPAB) shall be called as needed by the Historic Preservation Officer.~~

~~(G) Attendance. If a member has three (3) consecutive absences that are not excused by the Historic Preservation Advisory Board (HPAB), or is absent from more than 25% of the meetings, he or she may be removed from the Historic Preservation Advisory Board~~

~~(HPAB); however, if absent from 50% of the meetings in any calendar year, the member will automatically be removed from the Historic Preservation Advisory Board (HPAB).~~

SUBSECTION 05.02: DESIGNATION OF LANDMARKS IN THE CITY

~~(A) The Historic Preservation Advisory Board (HPAB) may recommend to the Planning and Zoning Commission and the City Council that certain properties be *landmark districts* and that specific areas be designated as *historic districts* as provided for in [Subsection 06.03, Historic Overlay \(HO\) District, of Article 05, District Development Standards](#).~~

SUBSECTION 05.03: CERTIFICATES OF APPROPRIATENESS (COA)

~~For requirements concerning Certificates of Appropriateness (COA) see [Section 06, Certificates of Appropriateness \(COA\), of Article 11, Development Applications and Review Procedures](#).~~

SECTION 06 | ARCHITECTURAL REVIEW BOARD

SUBSECTION 06.01: ORGANIZATION

~~For requirements concerning the Architectural Review Board see [Division 4, Architectural Review Board, of Article III, Boards, Commissions, Committees, of Chapter 2, Administration, of the Municipal Code of Ordinances](#).~~

SUBSECTION 06.01: CREATED

~~There is hereby created an Architectural Review Board (ARB) which shall serve as an advisory body to the Planning and Zoning Commission. Such board shall consist of seven (7) members to be appointed by the City Council after recommendation of the Planning and Zoning Commission.~~

SUBSECTION 06.02: TERMS OF OFFICE; QUALIFICATIONS

~~(A) Term. The members shall be appointed for a term of two (2) years with staggered terms and shall be removable for cause by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed.~~

~~(B) Qualifications. At least one (1) member shall be a registered architect in the State of Texas. Other members are chosen for qualifications and training in related fields such as landscape architecture, interior or exterior design, municipal planning, municipal government and other professions with related disciplines or civic interest.~~

~~(C) Attendance. If a member has three (3) consecutive absences that are not excused by the Architectural Review Board (ARB), or is absent from more than 25% of the meetings, he may be removed from the Architectural Review Board (ARB); however, if absent from 50% of the meetings in any calendar year, the member will automatically be removed from the Architectural Review Board (ARB).~~

SUBSECTION 06.03: DUTIES



~~The purpose of the Architectural Review Board (ARB) is to provide professional recommendations to the Planning and Zoning Commission and the Director of Planning and Zoning regarding site plans and building elevations submitted within any zoning district as may be required. Meetings of the Architectural Review Board (ARB) shall be called as needed. The Architectural Review Board (ARB) shall review site plans and building elevations placed before them within the time frame allowed for processing applications prior to submission to the Planning and Zoning Commission. The review shall evaluate compatibility with existing topography, scenic corridors and landscaping, and with the goals and objectives established in the applicable Overlay District and/or Planned Development (PD) District, the Comprehensive Plan and applicable provisions of the urban design guidelines. The Architectural Review Board (ARB) shall make recommendations on design changes based on its professional experience and knowledge. The Planning and Zoning Commission shall consider the Architectural Review Board's (ARB's) recommendations in its deliberation of the proposed development. The Planning and Zoning Commission may include recommended changes in the proposed building elevations and site plan based upon the recommendations of the Architectural Review Board (ARB) in its recommendation to the City Council, if applicable.~~

~~SUBSECTION 06.04: OFFICERS~~

~~The Architectural Review Board (ARB) shall elect a chairman and vice-chairman at the first meeting in August or at the first meeting thereafter for a term of one (1) year. The Director of Planning and Zoning shall be secretary of the Architectural Review Board (ARB) and an ex officio member.~~

~~SUBSECTION 06.05: VOTING~~

~~Each member in attendance shall have a vote on plans submitted to the Architectural Review Board (ARB) with that vote being reported to the Planning and Zoning Commission. Any member professionally or financially involved in matters pending before the Architectural Review Board (ARB) shall abstain from any discussion, consideration or vote on that item and shall leave the room during such discussion and consideration.~~

SECTION 07 | DIRECTOR OF PLANNING AND ZONING

SUBSECTION 07.01: QUALIFICATIONS

- (A) The Director of Planning and Zoning must be a member in good standing of AICP, AIA or PE.
- (B) The Director of Planning and Zoning or his/her designee shall serve as the Zoning Administrator.

SUBSECTION 07.02: POWERS AND DUTIES

- (A) The Director of Planning and Zoning shall have the following powers and duties:
 - (1) To make recommendations and provide assistance to the City Council and Planning and Zoning Commission concerning exercise of their responsibilities under the Unified Development Code (UDC);
 - (2) To develop and recommend to the Planning and Zoning Commission, and the City Council, a Comprehensive Plan for

the City or any amendments to the plan and to propose actions to implement the plan;

- (3) To coordinate all planning relating to the City's Comprehensive Plan;
- (4) To submit recommendations to the Planning and Zoning Commission and City Council on request for zoning changes, variances and exceptions;
- (5) To render such administrative decisions as are required of the Director of Planning and Zoning by the Unified Development Code (UDC);
- (6) To perform such other duties as may be prescribed by ordinance or directed by the City Council or Planning and Zoning Commission.

SECTION 08 | HISTORIC PRESERVATION OFFICER

SUBSECTION 08.01: APPOINTMENT

The City Manager shall appoint a qualified staff person, to serve as Historic Preservation Officer (HPO). This officer shall administer the historic preservation provisions of the Unified Development Code (UDC) and advise the Historic Preservation Advisory Board (HPAB) on matters submitted to it.

SUBSECTION 08.02: POWER AND DUTIES

In addition to serving as a representative to the Historic Preservation Advisory Board (HPAB), the Historic Preservation Officer (HPO) shall:

- (A) Coordinate the City's preservation activities with those of state and federal agencies and with local, state, and national non-profit preservation organizations.
- (B) Administer the Unified Development Code (UDC) and advise the HPAB on matters submitted to it.
- (C) To maintain and hold open for public inspection all documents and records pertaining to the provisions of this Article.
- (D) Receive and review all applications pursuant to this Article to ensure their completeness.
- (E) Review and act on all Certificates of Appropriateness (COA) applications subject to administrative review pursuant to this Article.
- (F) Review and forward with any recommendations for all applications for a Certificate of Appropriateness (COA) subject to review by the Historic Preservation Advisory Board (HPAB) pursuant to this Article.
- (G) Ensure proper posting and noticing of all Historic Preservation Advisory Board (HPAB) meetings, schedule applications for Historic Preservation Advisory Board (HPAB) review, provide packets to its members prior to the meetings, record meeting minutes and facilitate all Historic Preservation Advisory Board (HPAB) meetings.
- (H) Review and help coordinate the City's preservation and urban design activities with those of local, state and federal agencies and with local, state, and national preservation organizations in the private sector.

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CODE OF ORDINANCES AND UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE III, *BOARDS, COMMISSIONS, COMMITTEES*, OF CHAPTER 2, *ADMINISTRATION*, OF THE MUNICIPAL CODE OF ORDINANCES AND ARTICLE 02, *DEVELOPMENT REVIEW AUTHORITY*, OF THE UNIFIED DEVELOPMENT CODE (UDC) AS DEPCITED IN *EXHIBITS 'A' & 'B'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Municipal Code of Ordinances and the Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Article III, *Boards, Commissions, Committees*, of Chapter 2, *Administration*, of the Municipal Code of Ordinances and Article 02, *Development Review Authority*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Municipal Code of Ordinances and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article III, *Boards, Commissions, Committees*, of Chapter 2, *Administration*, of the Municipal Code of Ordinances of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That Article 02, *Development Review Authority*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'B'* of this ordinance;

SECTION 3. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Municipal Code of Ordinances and/or Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS
THE 7TH DAY OF NOVEMBER, 2022.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2022

2nd Reading: November 7, 2022

DIVISION 3. HISTORIC PRESERVATION ADVISORY BOARD

SECTION 2-79. MEMBERSHIP

There is hereby created a Historic Preservation Advisory Board (HPAB) which shall serve as an advisory body to the City Council. Such board shall consist of seven (7) members to be appointed by the City Council.

SECTION 2-80. TERM OF OFFICE; QUALIFICATIONS.

- (1) Term of Office. The members shall be appointed for a term of two (2) years with staggered terms and shall be removable by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term, the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed.
- (2) Qualification. All board members, regardless of background, shall have a known and demonstrated interest, competence of knowledge of historic preservation within the City. All members must be residents of the City of Rockwall.

SECTION 2-81. DUTIES.

The duties of the Historic Preservation Advisory Board (HPAB) are as follows:

- (1) Provide professional recommendations to the City Council and Planning and Zoning Commission as required, regarding site plans, building alternatives, and building plans proposed within the City Historic Overlay (HOV) District. The Historic Preservation Advisory Board (HPAB) shall review site plans and building elevations placed before them within the time frame allowed for processing applications prior to submission to the Planning and Zoning Commission or City Council. The Historic Preservation Advisory Board (HPAB) shall prepare a written assessment of the proposed project regarding compliance with approved guidelines for development within the district, and its applicability in preserving and enhancing the history and culture of the district.
- (2) Research, document and maintain in the official files of the City detailed information regarding the original construction and architecture of the district.
- (3) Develop and maintain guidelines regarding development and redevelopment within the district including architectural design, materials selections, building styles and other pertinent design considerations. The proposed guidelines shall be submitted to the Planning and Zoning Commission and City Council for approval.
- (4) Adopt rules and procedures as necessary to provide for the orderly conduct of board meetings.
- (5) Recommend the boundaries of historic districts.
- (6) Increase public awareness of the value of historic, cultural, and architectural preservation by encouraging and participating in public education programs developed by the historic preservation office.
- (7) Provide recommendations to the Planning and Zoning Commission and City Council concerning the historic preservation impact of proposed, announced or commenced actions by federal, state or local authorities that affect streets, alleys, publicly-maintained utilities and any other public spaces, areas, improvements, other features or zoning within, around or through any district.

Exhibit 'A'

*Article III, Boards, Commissions, Committees, of
Chapter 2, Administration, of the Municipal Code of Ordinances*

- (8) Make recommendations to the City for the employment of staff and professional consultants as necessary to carry out the duties of the HPAB.
- (9) Review and act on the designation of landmarks and the delineation of districts, which shall be ratified by the City Council.
- (10) Recommend and confer recognition upon the owners of landmarks or properties within districts by means of certificates, plaques, or markers.
- (11) Review and recommend to City Council and other applicable City Boards and Commissions all proposed changes to the Unified Development Code (UDC), building code, general plan or other adopted policies of the City that may affect the purpose of the Article.
- (12) Conduct public hearings and provide comment on buildings, objects, sites, structures, and districts for nomination to the National Register of Historic Places to the Texas Historic Commission. Such recommendations shall be guided by the criteria established in the National Historic Preservation Act of 1966, as amended.
- (13) Implement and maintain a system of survey or inventory of significant historic, architectural, and cultural landmarks and all properties located within designated districts located in the City. Such information shall be maintained securely, made accessible to the public and should be updated at least every ten (10) years.
- (14) Monitor and report to the Texas Historical Commission all actions affecting any recorded Texas historic landmark, state archaeological landmark, national register property and any locally designated landmark, as deemed necessary.
- (15) Create sub-committees from among its membership and delegate to these committees' responsibilities to carry out the purposes of this Article.
- (16) Maintain written meeting minutes which are recorded by staff and demonstrate all actions taken by the HPAB and the reasons for taking such actions.
- (17) Increase public awareness of the value of historic, cultural, and architectural preservation by developing and participating in public education programs.
- (18) Review and act on all Certificates of Appropriateness (COA) applications for compliance with adopted design guidelines pursuant to this Article.
- (19) Review and act on all appeals on action taken by the Historic Preservation Officer (HPO) regarding the administrative review of Certificates of Appropriateness (COA) applications for compliance with adopted design guidelines pursuant to this Article.
- (20) Develop, prepare and adopt specific design guidelines which shall be ratified by the City Council, for use in the review of all Certificates of Appropriateness (COA) applications.
- (21) Prepare and submit annually to the City Council a report summarizing budget costs, goals and objectives and work completed during the previous year, as well as anticipated budgetary requests.
- (22) Provide recommendations to the City concerning the utilization of state, federal, or private funds to promote the preservation of landmarks and districts within the City.
- (23) Recommend to City Council the acquisition of endangered landmarks by demolition where its preservation is essential to the purpose of this Article and where private preservation is not feasible.

Exhibit 'A'
*Article III, Boards, Commissions, Committees, of
Chapter 2, Administration, of the Municipal Code of Ordinances*

- (24) Propose incentive program(s) to City Council for local property owners of historic landmarks or within local districts.
- (25) Review and act on all city preservation-related incentive program applications involving work on landmarks and districts for compliance with adopted design guidelines pursuant to this Article.
- (26) Accept on behalf of the City government donations of preservation easements and development rights as well as any other gift of value for the purpose of historic preservation, subject to the approval of City Council.

SECTION 2-82. OFFICERS.

The Historic Preservation Advisory Board (HPAB) shall elect a chairman and vice-chairman at the first meeting in August or at the first meeting thereafter for a term of one (1) year. The Historic Preservation Officer (HPO) shall be secretary of the Historic Preservation Advisory Board (HPAB) and an ex-officio member.

SECTION 2-83. VOTING.

Each member in attendance shall have a vote on plans submitted to the Historic Preservation Advisory Board (HPAB) with that vote reported to the Planning and Zoning Commission. Any member professionally or financially involved in matters pending before the Historic Preservation Advisory Board (HPAB) shall abstain from any discussion, consideration or vote on that item and shall leave the room during such discussion and consideration. Meetings of the Historic Preservation Advisory Board (HPAB) shall be called as needed by the Historic Preservation Officer.

SECTION 2-84. ATTENDANCE.

If a member has three (3) consecutive absences that are not excused by the Historic Preservation Advisory Board (HPAB), or is absent from more than 25% of the meetings, he or she may be removed from the Historic Preservation Advisory Board (HPAB); however, if absent from 50% of the meetings in any calendar year, the member will automatically be removed from the Historic Preservation Advisory Board (HPAB).

DIVISION 4. ARCHITECTURAL REVIEW BOARD

SECTION 2-85. MEMBERSHIP.

There is hereby created an Architectural Review Board (ARB) which shall serve as an advisory body to the Planning and Zoning Commission. Such board shall consist of seven (7) members to be appointed by the City Council after recommendation of the Planning and Zoning Commission.

SECTION 2-86. TERM OF OFFICE; QUALIFICATIONS.

- (1) Term of Office. The members shall be appointed for a term of two (2) years with staggered terms and shall be removable for cause by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed.
- (2) Qualification. At least one (1) member shall be a registered architect in the State of Texas. Other members are chosen for qualifications and training in related fields such as landscape architecture, interior or exterior design, municipal planning, municipal government and other professions with related disciplines or civic interest.

Exhibit 'A'
*Article III, Boards, Commissions, Committees, of
Chapter 2, Administration, of the Municipal Code of Ordinances*

SECTION 2-87. DUTIES.

The purpose of the Architectural Review Board (ARB) is to provide professional recommendations to the Planning and Zoning Commission and the Director of Planning and Zoning regarding site plans and building elevations submitted within any zoning district as may be required. Meetings of the Architectural Review Board (ARB) shall be called as needed. The Architectural Review Board (ARB) shall review site plans and building elevations placed before them within the time frame allowed for processing applications prior to submission to the Planning and Zoning Commission. The review shall evaluate compatibility with existing topography, scenic corridors and landscaping, and with the goals and objectives established in the applicable Overlay District and/or Planned Development (PD) District, the Comprehensive Plan and applicable provisions of the urban design guidelines. The Architectural Review Board (ARB) shall make recommendations on design changes based on its professional experience and knowledge. The Planning and Zoning Commission shall consider the Architectural Review Board's (ARB's) recommendations in its deliberation of the proposed development. The Planning and Zoning Commission may include recommended changes in the proposed building elevations and site plan based upon the recommendations of the Architectural Review Board (ARB) in its recommendation to the City Council, if applicable.

SECTION 2-88. OFFICERS.

The Architectural Review Board (ARB) shall elect a chairman and vice-chairman at the first meeting in August or at the first meeting thereafter for a term of one (1) year. The Director of Planning and Zoning shall be secretary of the Architectural Review Board (ARB) and an ex-officio member.

SECTION 2-89. VOTING.

Each member in attendance shall have a vote on plans submitted to the Architectural Review Board (ARB) with that vote being reported to the Planning and Zoning Commission. Any member professionally or financially involved in matters pending before the Architectural Review Board (ARB) shall abstain from any discussion, consideration or vote on that item and shall leave the room during such discussion and consideration.

SECTION 2-90. ATTENDANCE.

If a member has three (3) consecutive absences that are not excused by the Architectural Review Board (ARB), or is absent from more than 25% of the meetings, he may be removed from the Architectural Review Board (ARB); however, if absent from 50% of the meetings in any calendar year, the member will automatically be removed from the Architectural Review Board (ARB).

SECTION 2-91 – 2-99. RESERVED.

Exhibit 'B'
*Article 02, Development Review Authority, of the
Unified Development Code (UDC)*

See Next Page ...



SECTION 05 | HISTORIC PRESERVATION ADVISORY BOARD

SUBSECTION 05.01: ORGANIZATION

For requirements concerning the Historic Preservation Advisory Board see Division 3, Historic Preservation Advisory Board, of Article III, Boards, Commissions, Committees, of Chapter 2, Administration, of the Municipal Code of Ordinances.

~~(A) **Membership.** There is hereby created a Historic Preservation Advisory Board (HPAB) which shall serve as an advisory body to the City Council. Such board shall consist of seven (7) members to be appointed by the City Council.~~

~~(B) **Term of Office; Qualifications.** The members shall be appointed for a term of two (2) years with staggered terms and shall be removable by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term, the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed. The membership shall include:~~

- ~~(1) An architect, planner or representative of a design profession;~~
- ~~(2) A member of the Rockwall County Historical Foundation;~~
- ~~(3) A general contractor;~~
- ~~(4) An owner of property within a historic district;~~
- ~~(5) Three (3) citizens of Rockwall interested in historic preservation.~~

~~(C) All board members, regardless of background, shall have a known and demonstrated interest, competence or knowledge of historic preservation within the City. All members must be residents of Rockwall County.~~

~~(D) **Duties.** The duties of the Historic Preservation Advisory Board (HPAB) are as follows:~~

- ~~(1) Provide professional recommendations to the City Council and Planning and Zoning Commission as required, regarding site plans, building alternatives, and building plans proposed within the City Historic Overlay (HOV) District. The Historic Preservation Advisory Board (HPAB) shall review site plans and building elevations placed before them within the time frame allowed for processing applications prior to submission to the Planning and Zoning Commission or City Council. The Historic Preservation Advisory Board (HPAB) shall prepare a written assessment of the proposed project regarding compliance with approved guidelines for development within the district, and its applicability in preserving and enhancing the history and culture of the district.~~
- ~~(2) Research, document and maintain in the official files of the City detailed information regarding the original construction and architecture of the district.~~
- ~~(3) Develop and maintain guidelines regarding development and redevelopment within the district including architectural design, materials selections, building styles and other pertinent design considerations. The proposed guidelines shall be submitted to~~

~~the Planning and Zoning Commission and City Council for approval.~~

- ~~(4) Adopt rules and procedures as necessary to provide for the orderly conduct of board meetings.~~
- ~~(5) Recommend the boundaries of historic districts.~~
- ~~(6) Increase public awareness of the value of historic, cultural, and architectural preservation by encouraging and participating in public education programs developed by the historic preservation office.~~
- ~~(7) Provide recommendations to the Planning and Zoning Commission and City Council concerning the historic preservation impact of proposed, announced or commenced actions by federal, state or local authorities that affect streets, alleys, publicly maintained utilities and any other public spaces, areas, improvements, other features or zoning within, around or through any district.~~
- ~~(8) Make recommendations to the City for the employment of staff and professional consultants as necessary to carry out the duties of the HPAB.~~
- ~~(9) Review and act on the designation of landmarks and the delineation of districts, which shall be ratified by the City Council.~~
- ~~(10) Recommend and confer recognition upon the owners of landmarks or properties within districts by means of certificates, plaques, or markers.~~
- ~~(11) Review and recommend to City Council and other applicable City Boards and Commissions all proposed changes to the Unified Development Code (UDC), building code, general plan or other adopted policies of the City that may affect the purpose of the Article.~~
- ~~(12) Conduct public hearings and provide comment on buildings, objects, sites, structures, and districts for nomination to the National Register of Historic Places to the Texas Historic Commission. Such recommendations shall be guided by the criteria established in the National Historic Preservation Act of 1966, as amended.~~
- ~~(13) Implement and maintain a system of survey or inventory of significant historic, architectural, and cultural landmarks and all properties located within designated districts located in the City. Such information shall be maintained securely, made accessible to the public and should be updated at least every ten (10) years.~~
- ~~(14) Monitor and report to the Texas Historical Commission all actions affecting any recorded Texas historic landmark, state archaeological landmark, national register property and any locally designated landmark, as deemed necessary.~~
- ~~(15) Create sub-committees from among its membership and delegate to these committees' responsibilities to carry out the purposes of this Article.~~
- ~~(16) Maintain written meeting minutes which are recorded by staff and demonstrate all actions taken by the HPAB and the reasons for taking such actions.~~



~~(17) Increase public awareness of the value of historic, cultural, and architectural preservation by developing and participating in public education programs.~~

~~(18) Review and act on all Certificates of Appropriateness (COA) applications for compliance with adopted design guidelines pursuant to this Article.~~

~~(19) Review and act on all appeals on action taken by the Historic Preservation Officer (HPO) regarding the administrative review of Certificates of Appropriateness (COA) applications for compliance with adopted design guidelines pursuant to this Article.~~

~~(20) Develop, prepare and adopt specific design guidelines which shall be ratified by the City Council, for use in the review of all Certificates of Appropriateness (COA) applications.~~

~~(21) Prepare and submit annually to the City Council a report summarizing budget costs, goals and objectives and work completed during the previous year, as well as anticipated budgetary requests.~~

~~(22) Provide recommendations to the City concerning the utilization of state, federal, or private funds to promote the preservation of landmarks and districts within the City.~~

~~(23) Recommend to City Council the acquisition of endangered landmarks by demolition where its preservation is essential to the purpose of this Article and where private preservation is not feasible.~~

~~(24) Propose incentive program(s) to City Council for local property owners of historic landmarks or within local districts.~~

~~(25) Review and act on all city preservation related incentive program applications involving work on landmarks and districts for compliance with adopted design guidelines pursuant to this Article.~~

~~(26) Accept on behalf of the City government donations of preservation easements and development rights as well as any other gift of value for the purpose of historic preservation, subject to the approval of City Council.~~

~~(E) Officers. The Historic Preservation Advisory Board (HPAB) shall elect a chairman and vice chairman at the first meeting in August or at the first meeting thereafter for a term of one (1) year. The Historic Preservation Officer (HPO) shall be secretary of the Historic Preservation Advisory Board (HPAB) and an ex-officio member.~~

~~(F) Voting; Meetings. Each member in attendance shall have a vote on plans submitted to the Historic Preservation Advisory Board (HPAB) with that vote reported to the Planning and Zoning Commission. Any member professionally or financially involved in matters pending before the Historic Preservation Advisory Board (HPAB) shall abstain from any discussion, consideration or vote on that item and shall leave the room during such discussion and consideration. Meetings of the Historic Preservation Advisory Board (HPAB) shall be called as needed by the Historic Preservation Officer.~~

~~(G) Attendance. If a member has three (3) consecutive absences that are not excused by the Historic Preservation Advisory Board (HPAB), or is absent from more than 25% of the meetings, he or she may be removed from the Historic Preservation Advisory Board~~

~~(HPAB); however, if absent from 50% of the meetings in any calendar year, the member will automatically be removed from the Historic Preservation Advisory Board (HPAB).~~

SUBSECTION 05.02: DESIGNATION OF LANDMARKS IN THE CITY

~~(A) The Historic Preservation Advisory Board (HPAB) may recommend to the Planning and Zoning Commission and the City Council that certain properties be *landmark districts* and that specific areas be designated as *historic districts* as provided for in [Subsection 06.03, Historic Overlay \(HO\) District, of Article 05, District Development Standards](#).~~

SUBSECTION 05.03: CERTIFICATES OF APPROPRIATENESS (COA)

~~For requirements concerning Certificates of Appropriateness (COA) see [Section 06, Certificates of Appropriateness \(COA\), of Article 11, Development Applications and Review Procedures](#).~~

SECTION 06 | ARCHITECTURAL REVIEW BOARD

SUBSECTION 06.01: ORGANIZATION

~~For requirements concerning the Architectural Review Board see [Division 4, Architectural Review Board, of Article III, Boards, Commissions, Committees, of Chapter 2, Administration, of the Municipal Code of Ordinances](#).~~

SUBSECTION 06.01: CREATED

~~There is hereby created an Architectural Review Board (ARB) which shall serve as an advisory body to the Planning and Zoning Commission. Such board shall consist of seven (7) members to be appointed by the City Council after recommendation of the Planning and Zoning Commission.~~

SUBSECTION 06.02: TERMS OF OFFICE; QUALIFICATIONS

~~(A) Term. The members shall be appointed for a term of two (2) years with staggered terms and shall be removable for cause by the City Council. Their terms of office shall expire on the last day of July or when their successor has been appointed. In the event that a vacancy occurs prior to the expiration of a full term the City Council shall appoint a new member to complete the unexpired term. Any member may be reappointed by the City Council upon completion of a term to which he has been appointed.~~

~~(B) Qualifications. At least one (1) member shall be a registered architect in the State of Texas. Other members are chosen for qualifications and training in related fields such as landscape architecture, interior or exterior design, municipal planning, municipal government and other professions with related disciplines or civic interest.~~

~~(C) Attendance. If a member has three (3) consecutive absences that are not excused by the Architectural Review Board (ARB), or is absent from more than 25% of the meetings, he may be removed from the Architectural Review Board (ARB); however, if absent from 50% of the meetings in any calendar year, the member will automatically be removed from the Architectural Review Board (ARB).~~

SUBSECTION 06.03: DUTIES



~~The purpose of the Architectural Review Board (ARB) is to provide professional recommendations to the Planning and Zoning Commission and the Director of Planning and Zoning regarding site plans and building elevations submitted within any zoning district as may be required. Meetings of the Architectural Review Board (ARB) shall be called as needed. The Architectural Review Board (ARB) shall review site plans and building elevations placed before them within the time frame allowed for processing applications prior to submission to the Planning and Zoning Commission. The review shall evaluate compatibility with existing topography, scenic corridors and landscaping, and with the goals and objectives established in the applicable Overlay District and/or Planned Development (PD) District, the Comprehensive Plan and applicable provisions of the urban design guidelines. The Architectural Review Board (ARB) shall make recommendations on design changes based on its professional experience and knowledge. The Planning and Zoning Commission shall consider the Architectural Review Board's (ARB's) recommendations in its deliberation of the proposed development. The Planning and Zoning Commission may include recommended changes in the proposed building elevations and site plan based upon the recommendations of the Architectural Review Board (ARB) in its recommendation to the City Council, if applicable.~~

~~SUBSECTION 06.04: OFFICERS~~

~~The Architectural Review Board (ARB) shall elect a chairman and vice-chairman at the first meeting in August or at the first meeting thereafter for a term of one (1) year. The Director of Planning and Zoning shall be secretary of the Architectural Review Board (ARB) and an ex officio member.~~

~~SUBSECTION 06.05: VOTING~~

~~Each member in attendance shall have a vote on plans submitted to the Architectural Review Board (ARB) with that vote being reported to the Planning and Zoning Commission. Any member professionally or financially involved in matters pending before the Architectural Review Board (ARB) shall abstain from any discussion, consideration or vote on that item and shall leave the room during such discussion and consideration.~~

SECTION 07 | DIRECTOR OF PLANNING AND ZONING

SUBSECTION 07.01: QUALIFICATIONS

- (A) The Director of Planning and Zoning must be a member in good standing of AICP, AIA or PE.
- (B) The Director of Planning and Zoning or his/her designee shall serve as the Zoning Administrator.

SUBSECTION 07.02: POWERS AND DUTIES

- (A) The Director of Planning and Zoning shall have the following powers and duties:
 - (1) To make recommendations and provide assistance to the City Council and Planning and Zoning Commission concerning exercise of their responsibilities under the Unified Development Code (UDC);
 - (2) To develop and recommend to the Planning and Zoning Commission, and the City Council, a Comprehensive Plan for

the City or any amendments to the plan and to propose actions to implement the plan;

- (3) To coordinate all planning relating to the City's Comprehensive Plan;
- (4) To submit recommendations to the Planning and Zoning Commission and City Council on request for zoning changes, variances and exceptions;
- (5) To render such administrative decisions as are required of the Director of Planning and Zoning by the Unified Development Code (UDC);
- (6) To perform such other duties as may be prescribed by ordinance or directed by the City Council or Planning and Zoning Commission.

SECTION 08 | HISTORIC PRESERVATION OFFICER

SUBSECTION 08.01: APPOINTMENT

The City Manager shall appoint a qualified staff person, to serve as Historic Preservation Officer (HPO). This officer shall administer the historic preservation provisions of the Unified Development Code (UDC) and advise the Historic Preservation Advisory Board (HPAB) on matters submitted to it.

SUBSECTION 08.02: POWER AND DUTIES

In addition to serving as a representative to the Historic Preservation Advisory Board (HPAB), the Historic Preservation Officer (HPO) shall:

- (A) Coordinate the City's preservation activities with those of state and federal agencies and with local, state, and national non-profit preservation organizations.
- (B) Administer the Unified Development Code (UDC) and advise the HPAB on matters submitted to it.
- (C) To maintain and hold open for public inspection all documents and records pertaining to the provisions of this Article.
- (D) Receive and review all applications pursuant to this Article to ensure their completeness.
- (E) Review and act on all Certificates of Appropriateness (COA) applications subject to administrative review pursuant to this Article.
- (F) Review and forward with any recommendations for all applications for a Certificate of Appropriateness (COA) subject to review by the Historic Preservation Advisory Board (HPAB) pursuant to this Article.
- (G) Ensure proper posting and noticing of all Historic Preservation Advisory Board (HPAB) meetings, schedule applications for Historic Preservation Advisory Board (HPAB) review, provide packets to its members prior to the meetings, record meeting minutes and facilitate all Historic Preservation Advisory Board (HPAB) meetings.
- (H) Review and help coordinate the City's preservation and urban design activities with those of local, state and federal agencies and with local, state, and national preservation organizations in the private sector.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: Z2022-045
PROJECT NAME: SUP for Solar Panels at 125 Lanshire Drive
SITE ADDRESS/LOCATIONS: 125 LANSHIRE DR

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Hold a public hearing to discuss and consider a request by Tony Trammel for the approval of a Specific Use Permit (SUP) for Solar Panels exceeding 1,000 SF of coverage on a residential home situated on a 0.1947-acre parcel of land identified as Lot 20, Block D, Lynden Park Estates Subdivision, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17) for Single Family 7 (SF-7) District land uses, addressed as 125 Lanshire Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Bethany Ross	09/22/2022	Approved w/ Comments

09/22/2022: Z2022-045; Specific Use Permit (SUP) for Solar Panels at 125 Lanshire Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a by Tony Trammel for the approval of a Specific Use Permit (SUP) for Solar Panels exceeding 1,000 SF of coverage on a residential home situated on a 0.1947-acre parcel of land identified as Lot 20, Block D, Lynden Park Estates Subdivision, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17) for Single Family 7 (SF-7) District land uses, addressed as 125 Lanshire Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (Z2022-045) in the lower right-hand corner of all pages on future submittals.

I.4 The subject property is zoned Planned Development 17 (PD-17) for Single Family 7 (SF-7) District land uses.

I.5 In this case, the proposed solar panels exceed 1,000 SF, at a proposed total of 1,150 SF, which is permitted through a Specific Use Permit (SUP) process.

I.6 The following conditions pertain to the operation of Solar Panels on the Subject Property and conformance to these conditions are required for continued operations:

- (1) Fifty-seven (57) solar panels shall be attached to the roof as shown on the roof plan elevations submitted by the applicant.
- (2) All mechanical equipment (e.g. micro inverters) and batteries shall be completely screened from adjacent right-of-ways and properties.

M.7 Please review the attached Draft Ordinance prior to the September 27, 2022 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than October 4, 2022.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2022 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 27, 2022.

I.9 The projected City Council meeting dates for this case will be October 17 2022 (1st Reading) and November 7, 2022 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 125 Lanshire Dr. Rockwall, TX 75032

SUBDIVISION LOT BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE
 PROPOSED ZONING PROPOSED USE Roof Mounted PV System
 ACREAGE LOTS [CURRENT] LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER APPLICANT Tony Trammell
 CONTACT PERSON CONTACT PERSON Tony Trammell
 ADDRESS ADDRESS 2407 E Loop 820 N
 CITY, STATE & ZIP CITY, STATE & ZIP Fort Worth, TX 76118
 PHONE PHONE 817-616-3152
 E-MAIL E-MAIL tx.permits@gosolnova.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tony Trammell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

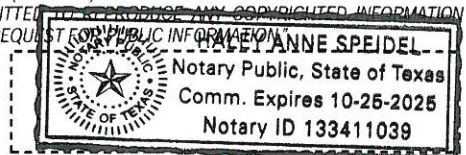
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF September, 20 20.

OWNER'S SIGNATURE

Tony Trammell
Hailey B...

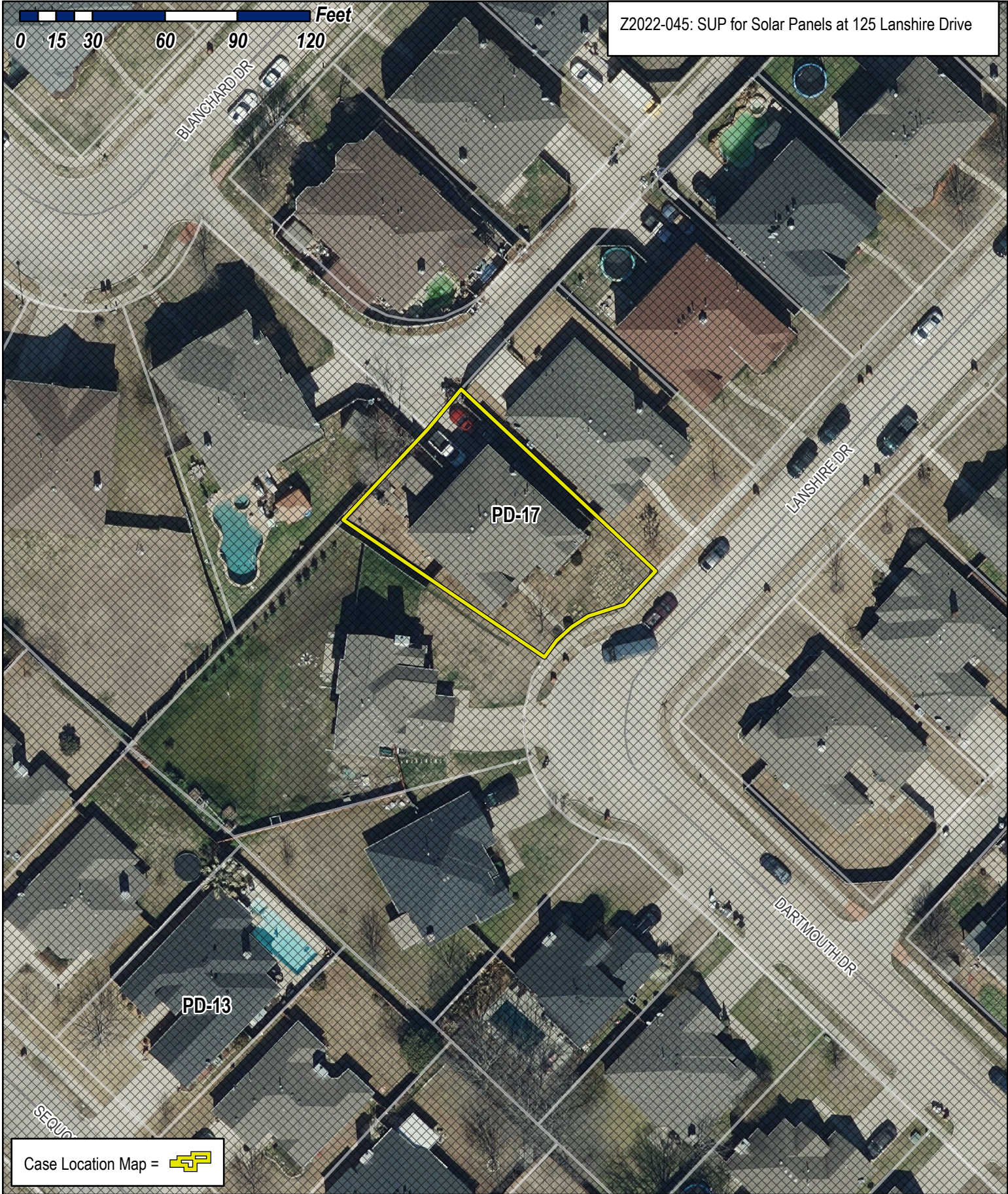
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10/25/2020

0 15 30 60 90 120 Feet

Z2022-045: SUP for Solar Panels at 125 Lanshire Drive



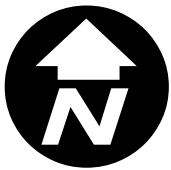
Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

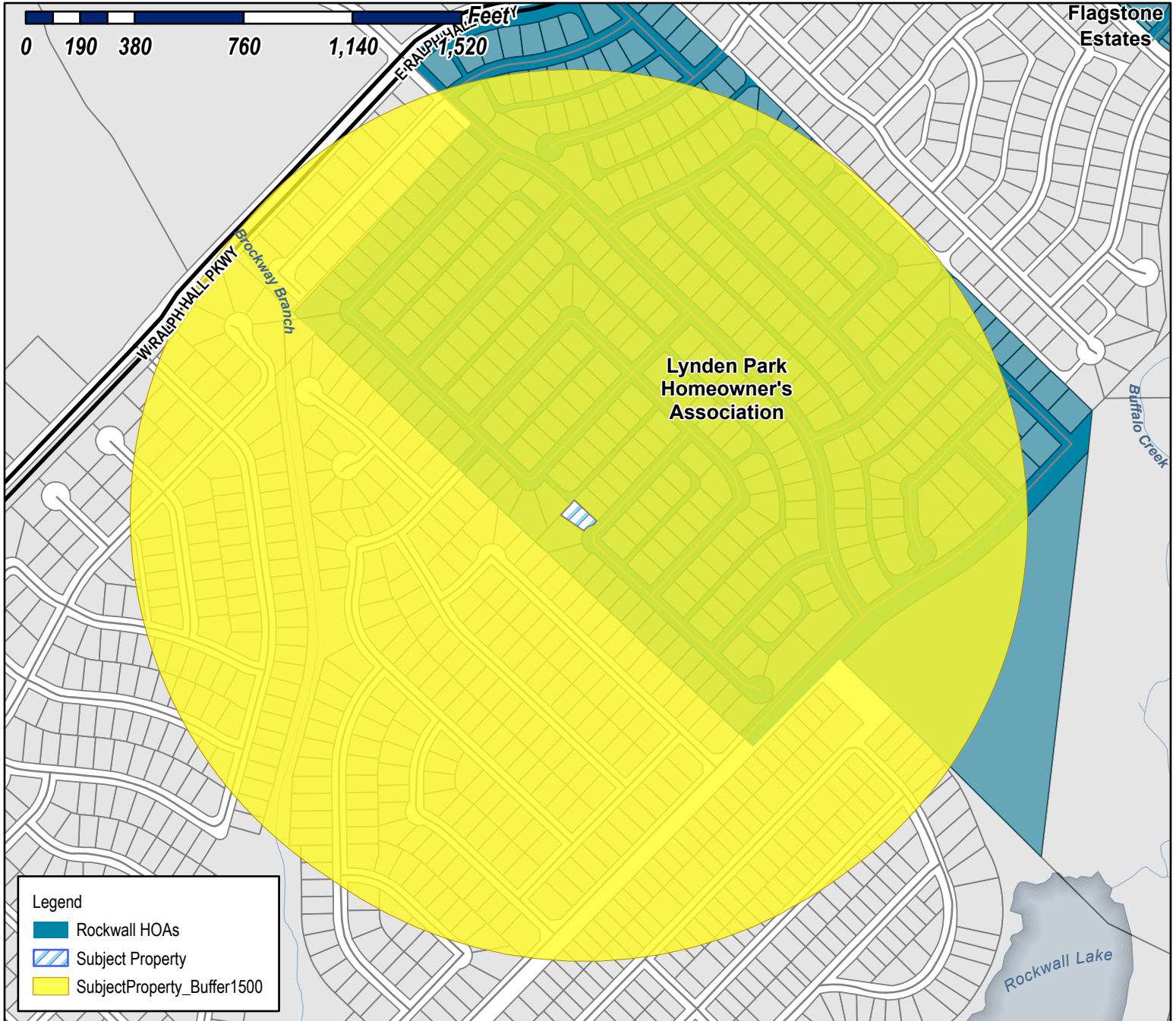




City of Rockwall

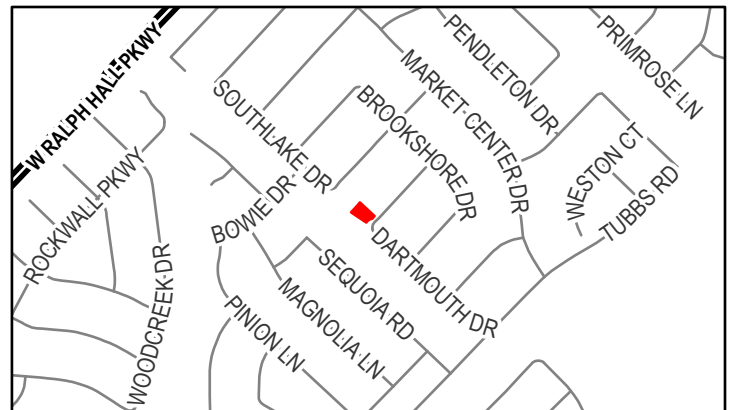
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2022-045
Case Name: SUP for Solar Panels
Case Type: Zoning
Zoning: Planned Development District 17 (PD-17)
Case Address: 125 Lanshire Drive

Date Saved: 9/16/2022
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Tuesday, September 20, 2022 10:15 AM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-045]
Attachments: Public Notice Z2022-045.pdf; HOA Map Z2022-045.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *September 23, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, October 11, 2022 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, October 17, 2022 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-045: SUP for Solar Panels

Hold a public hearing to discuss and consider a request by Tony Trammel for the approval of a *Specific Use Permit (SUP)* for *Solar Panels* exceeding 1,000 SF of coverage on a residential home situated on a 0.1947-acre parcel of land identified as Lot 20, Block D, Lynden Park Estates Subdivision, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17) for Single Family 7 (SF-7) District land uses, addressed as 125 Lanshire Drive, and take any action necessary.

Thank you,

Angelica Guevara

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

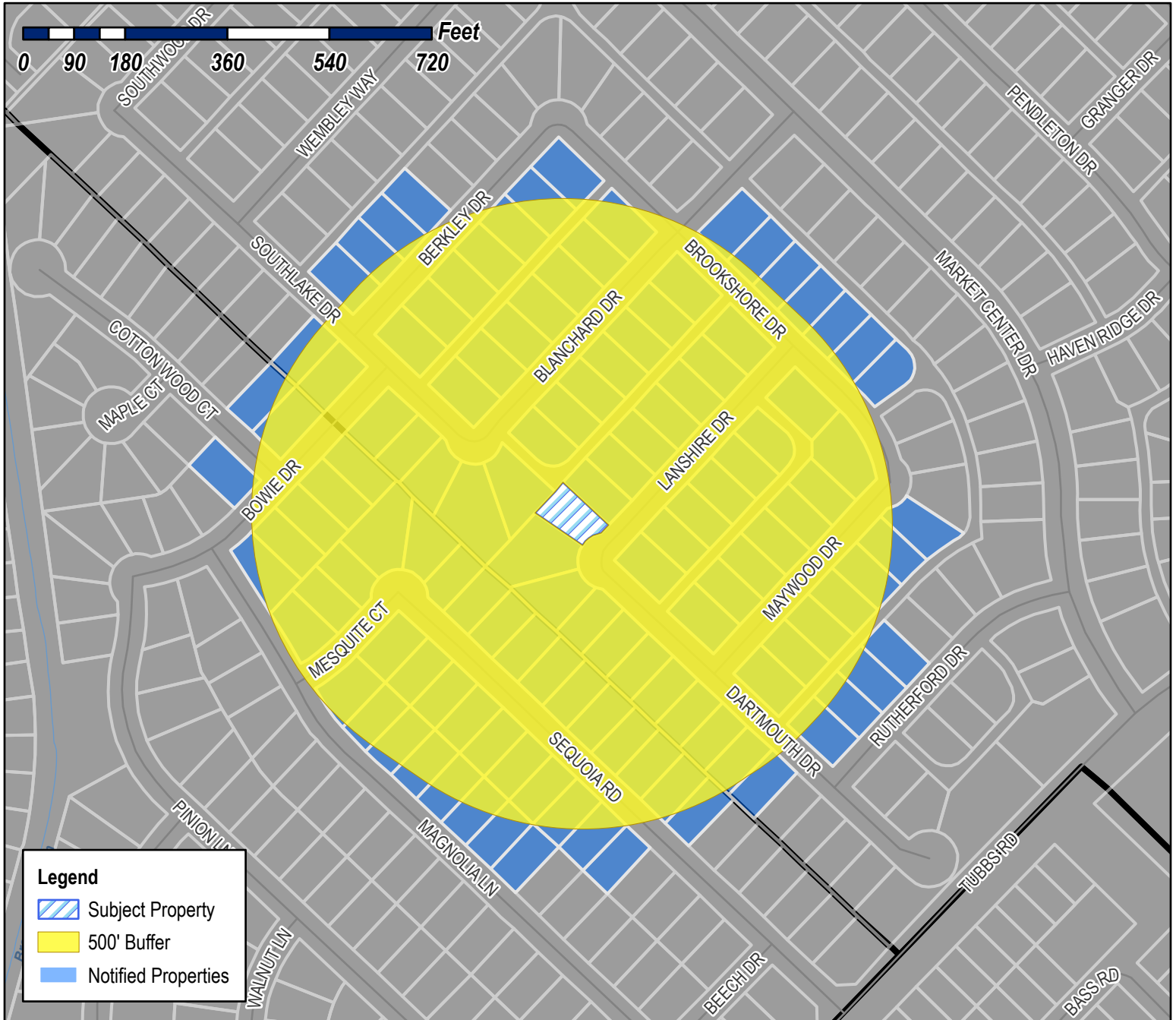
<http://www.rockwall.com/planning/>



City of Rockwall

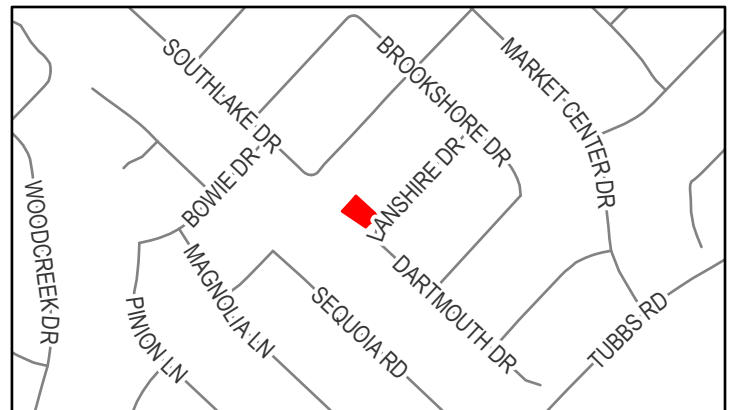
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2022-045
Case Name: SUP for Solar Panels
Case Type: Zoning
Zoning: Planned Development District 17 (PD-17)
Case Address: 125 Lanshire Drive

Date Saved: 9/16/2022
 For Questions on this Case Call (972) 771-7745



ISYA LIMITED PARTNERSHIP
1018 MOUNT AUBURN
DALLAS, TX 75223

CAMPBELL FLORENCE I
106 BROOKSHORE DR
ROCKWALL, TX 75032

STARNES CHARLES O & LORRAINE K
108 BROOKSHORE DR
ROCKWALL, TX 75032

520 YFLK LLC
110 BROOKSHORE DR
ROCKWALL, TX 75032

OFFILL ROBERT L & CRYSTAL J
110 LANSHIRE DR
ROCKWALL, TX 75032

DELIZ CRYSTAL D
110 MAYWOOD DRIVE
ROCKWALL, TX 75032

ALSAMMAK PROPERTIES LLC- SERIES 3
111 LANSHIRE DR
ROCKWALL, TX 75032

ALSAMMAK AHMED AND
BAN AL TAIE
111 LANSHIRE DRIVE
ROCKWALL, TX 75032

ENRIGHT THOMAS & ROXANNE
111 MAYWOOD DR
ROCKWALL, TX 75032

TATE ANTHONY R
112 MAYWOOD DR
ROCKWALL, TX 75032

GUAJARDO RAUL E & JORDANNE MORROW
112 BROOKSHORE DRIVE
ROCKWALL, TX 75032

PROGRESS RESIDENTIAL BORROWER 16 LLC
113 LANSHIRE DR
ROCKWALL, TX 75032

GONZALEZ VICTOR M
113 MAYWOOD
ROCKWALL, TX 75032

HENDERSON NORMA
114 MAYWOOD DR
ROCKWALL, TX 75032

GALLOWAY STEPHEN J & GWENDOLYN R
114 BROOKSHORE DR
ROCKWALL, TX 75032

LECLERC ANDRE
114 LANSHIRE DR
ROCKWALL, TX 75032

BOYLE HEBRON VICTORIA
115 LANSHIRE DR
ROCKWALL, TX 75032

ELLIS MARK AND
DENISE HENRY
115 MAYWOOD DR
ROCKWALL, TX 75032

RSB TOKEN INVESTMENTS LLC
116 MAYWOOD DR
ROCKWALL, TX 75032

WAFER CHRISTOPHER D & WILANDA L
116 BROOKSHORE DR
ROCKWALL, TX 75032

TRAN NGOC AND XUYEN HUYNH
116 LANSHIRE DR
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
117 LANSHIRE DR
ROCKWALL, TX 75032

LIMON MARIA ARACELY AND NORBERTO
117 MAYWOOD
ROCKWALL, TX 75032

CLARK ERIC DWAYNE & PATRICIA D
117 RUTHERFORD DR
ROCKWALL, TX 75032

PARAMOUNT LAURELS LLC
118 BROOKSHORE DR
ROCKWALL, TX 75032

VAN HEYST DAUAN N & RANDALL
118 LANSHIRE DR
ROCKWALL, TX 75032

RIDGEWAY RYAN A & HARRIS H JORGENSEN
118 MAYWOOD DRIVE
ROCKWALL, TX 75032

PAGADUAN KEVIN I & DEEJAY
119 LANSHIRE DRIVE
ROCKWALL, TX 75032

NUNEZ ARMANDO M & DELIA ANGUIANO
119 MAYWOOD
ROCKWALL, TX 75032

SOUMIE NAHNAH P
119 RUTHERFORD DR
ROCKWALL, TX 75032

LOZA FABIOLA ESTRADA
119 SOUTHLAKE DR
ROCKWALL, TX 75032

NGUYEN VINH AND GINA
120 LANSHIRE DR
ROCKWALL, TX 75032

SAMMIS FLEETWOOD & MELONIE
120 MAYWOOD
ROCKWALL, TX 75032

GJD REAL ESTATE LLC- 121 RUTHERFORD SERIES
121 RUTHERFORD DR
ROCKWALL, TX 75032

WILLIAMS LATONYA
121 BLANCHARD DRIVE
ROCKWALL, TX 75032

UKPAI OGBEYALU
121 LANSHIRE DR
ROCKWALL, TX 75032

ANDERSON AMBER
121 MAYWOOD DR
ROCKWALL, TX 75032

MERINO TROY A
122 BERKLEY DRIVE
ROCKWALL, TX 75032

MARROQUIN DOMINGO & CLAUDIA D
122 BLANCHARD DR
ROCKWALL, TX 75032

HOUSER MICKEY AND
JENNIFFER MALABOSA
122 LANSHIRE DRIVE
ROCKWALL, TX 75032

CORUJO JAMES AND JANISS
122 MAYWOOD DR
ROCKWALL, TX 75032

COZART MICHAEL AND CASSANDRA HARRIS-
123 LANSHIRE DR
ROCKWALL, TX 75032

MAREZ SARAH E AND MICHAEL E AND
CYNTHIA ANN HERRERA
123 MAYWOOD
ROCKWALL, TX 75032

JACKSON DALE E
123 RUTHERFORD DR
ROCKWALL, TX 75032

MYLES BOBBY J JR
123 SOUTHLAKE DR
ROCKWALL, TX 75032

CUELLAR JOEL A & MARTHA C
124 LANSHIRE DR
ROCKWALL, TX 75032

SANCHEZ JAYLYN MARIE
124 SEQUOIA ROAD
ROCKWALL, TX 75032

ELKINS THOMAS
125 BLANCHARD DR
ROCKWALL, TX 75032

FISHER CHARLES F JR
125 LANSHIRE DR
ROCKWALL, TX 75032

RASA GABRIEL N & MARIA C
125 SEQUOIA RD
ROCKWALL, TX 75032

NABI NABIULLAH AND SIMIN
126 BERKLEY DRIVE
ROCKWALL, TX 75032

DUNN CLAYTON F AND JILLIAN
126 BLANCHARD
ROCKWALL, TX 75087

AMH 2014-2 BORROWER LLC
127 SOUTHLAKE DR
ROCKWALL, TX 75032

FAY TERRENCE R & RENEE L
127 LANSHIRE DR
ROCKWALL, TX 75032

MARICH GARY C
128 SEQUOIA RD
ROCKWALL, TX 75032

AL BANNA WALID AHMAD
129 BLANCHARD DR
ROCKWALL, TX 75032

HERNANDEZ TERRI
129 SEQUOIA RD
ROCKWALL, TX 75032

SKYLES BRENDA RENEE AND RICHARD ERIC
HYATT
130 BERKLEY DR
ROCKWALL, TX 75032

PEMBERTON DAVID S & SABRINA
130 BLANCHARD DRIVE
ROCKWALL, TX 75032

BANKS LIDIA ELIZABETH & DARREL JAMES
131 SOUTHLAKE DRIVE
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
132 MAGNOLIA LN
ROCKWALL, TX 75032

COKELEZ KENAN
132 SEQUOIA ROAD
ROCKWALL, TX 75032

PROPERTY RENAISSANCE INVESTMENTS LLC
1321 UPLAND DR UNIT 6293
HOUSTON, TX 77043

AH4R PROPERTIES TWO LLC
133 BERKLEY DR
ROCKWALL, TX 75032

BUDLONG GARY C & PEGGY B P
LIVING TRUST
133 SEQUOIA RD
ROCKWALL, TX 75032

UDOFIA UKO
133 BLANCHARD DR
ROCKWALL, TX 75032

FALLS DAVID & TERRI
134 BOWIE DR
ROCKWALL, TX 75032

LAM SEAN ANDREW
SREY LAM
134 BERKLEY DR
ROCKWALL, TX 75032

BIRDSONG SERENA AND
BILLY COCHARD
134 BLANCHARD DR
ROCKWALL, TX 75032

FALLS DAVID & TERRI
135 MESQUITE CT
ROCKWALL, TX 75032

BIGGS FREDDIE L & SYLVIA L
135 SOUTHLAKE DR
ROCKWALL, TX 75032

ISYA LIMITED PARTNERSHIP
136 SEQUOIA RD
ROCKWALL, TX 75032

PORTER KRISTEN
136 MAGNOLIA LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
137 BLANCHARD DR
ROCKWALL, TX 75032

CARRIZALES ERI & LENNY
137 BOWIE DR
ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
137 SEQUOIA RD
ROCKWALL, TX 75032

WESTERVELT BARBARA
137 BERKLEY DR
ROCKWALL, TX 75032

CHEN QINGSHENG & YAN FENG
138 BERKLEY DR
ROCKWALL, TX 75032

PROPERTY RENAISSANCE INVESTMENTS LLC
138 BLANCHARD DR
ROCKWALL, TX 75032

LACY'S INVESTMENTS ENTERPRISES LLC
138 BOWIE DR
ROCKWALL, TX 75032

FALLS DAVID AND TERRI
139 MESQUITE CT
ROCKWALL, TX 75032

YOUNG SCOTT ALLEN & VETRICA LANITA YOUNG
139 SOUTHLAKE DR
ROCKWALL, TX 75032

POPLAR HILLS LLC SERIES C- 140 MAGNOLIA DR
140 MAGNOLIA LN
ROCKWALL, TX 75032

PETE MICHAEL A & SHANNAN D
140 SEQUOIA RD
ROCKWALL, TX 75032

TYLER MATTHEW
141 SEQUOIA RD
ROCKWALL, TX 75032

DEDNER WANDA G
141 BERKLEY DR
ROCKWALL, TX 75032

MORGAN PAULA
141 BLANCHARD DR
ROCKWALL, TX 75032

<Null>
142 BLANCHARD DR
ROCKWALL, TX 75032

LIGHT JEFFREY A AND LEIGH ANN
142 BOWIE DR
ROCKWALL, TX 75032

JOSEPH STEPHEN K & JESSY
142 BERKLEY DR
ROCKWALL, TX 75032

NGUYEN VINH AND GINA
14264 FAITH DR
FRISCO, TX 75035

ESTATE OF CHARLES W FALLS
DAVID CHARLES FALLS, EXECUTOR
143 MESQUITE CT
ROCKWALL, TX 75032

MURPHREE APRIL L
144 MAGNOLIA LN
ROCKWALL, TX 75032

SEDLAK AMANDA MARIE
144 SEQUOIA ROAD
ROCKWALL, TX 75032

AMBLER ASSOCIATES INC
145 SEQUOIA RD
ROCKWALL, TX 75032

THOMAS MAKIA S
145 BERKLEY DR
ROCKWALL, TX 75032

TATUM LANCE
145 BLANCHARD DR
ROCKWALL, TX 75032

AMH 2014-3 BORROWER LLC
146 BOWIE DR
ROCKWALL, TX 75032

GONZALEZ GRACIELA & ROLANDO
146 BERKLEY DR
ROCKWALL, TX 75032

MURPHY AUDREY LENEY ANDREWS
146 BLANCHARD DR
ROCKWALL, TX 75032

LIGHT JEFF
147 MESQUITE CT
ROCKWALL, TX 75032

ROVILLOS JOHN ISRAEL AMANDE AND GRACE
HALIMA
148 MAGNOLIA LANE
ROCKWALL, TX 75032

FARMER BETTY K
148 SEQUOIA RD
ROCKWALL, TX 75032

MENO ROLAND A & WAYNETTE M
149 SEQUOIA RD
ROCKWALL, TX 75032

AMBLER ASSOCIATES INC
15 CENTER CT
HEATH, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL CT
HEATH, TX 75032

BOYD SONIA B AND
MACEO R PRICE JR
150 BLANCHARD DRIVE
ROCKWALL, TX 75032

IRISH SARAH K
150 BOWIE DR
ROCKWALL, TX 75032

GARDNER EDWIN & DIANNE
152 MAGNOLIA
ROCKWALL, TX 75032

TUNNELL DAVID AND PENNY
152 SEQUOIA ROAD
ROCKWALL, TX 75032

FALLS TERRI & DAVID
153 SEQUOIA RD
ROCKWALL, TX 75032

CARLSON KEVIN R & NATALIE L
1553 VZ COUNTY ROAD 1213
CANTON, TX 75103

CARSON MICHELE L
156 MAGNOLIA LN
ROCKWALL, TX 75032

SHAH VIREN
156 SEQUOIA
ROCKWALL, TX 75032

CARLSON KEVIN R & NATALIE L
157 SEQUOIA RD
ROCKWALL, TX 75032

BOYLE HEBRON VICTORIA
16 GUMBLE CT
HILLSBOROUGH, NJ 8844

TATE ANTHONY R
160 CROSS OAK LANE
EADS, TN 38028

ABUNDIS ROBERTO AND YADIRA
160 MAGNOLIA LANE
ROCKWALL, TX 75087

MENCHACA JENNIFER
160 SEQUOIA RD
ROCKWALL, TX 75032

SIPES RICKY W
161 SEQUOIA ROAD
ROCKWALL, TX 75032

SUAREZ MARIA J & BETSY M
164 SEQUOIA RD
ROCKWALL, TX 75032

LE THAO M AND
THAI PHAM
168 SEQUOIA ROAD
ROCKWALL, TX 75032

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

LE BUU VAN
220 COTTON WOOD CT
ROCKWALL, TX 75032

SHAFFER LAURA H &
WILLIAM B WATTS
221 DARTMOUTH DR
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
223 DARTMOUTH DR
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
224 COTTON WOOD CT
ROCKWALL, TX 75032

WKB PARTNERS LP
225 DARTMOUTH DR
ROCKWALL, TX 75032

ARELLANO-CRUZ PAULA M AND FELIX
227 DARTMOUTH DR
ROCKWALL, TX 75032

AUSTIN TAMIKA S
229 DARTMOUTH DR
ROCKWALL, TX 75032

RODRIGUEZ ROGELIO
231 DARTMOUTH DR
ROCKWALL, TX 75032

ALSAMMAK PROPERTIES LLC- SERIES 3
233 DARTMOUTH DR
ROCKWALL, TX 75032

DAVIS DONNA B
235 DARTMOUTH DR
ROCKWALL, TX 75032

KIWALE THEREZIA
237 DARTMOUTH DRIVE
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AH4R PROPERTIES TWO LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

TYLER MATTHEW
2683 POTTER ST
EUGENE, OR 97405

BUDLONG GARY C & PEGGY B P
LIVING TRUST
2920 WINAM AVE
HONOLULU, HI 96816

POPLAR HILLS LLC SERIES C- 140 MAGNOLIA DR
30 WINDSOR DRIVE
ROCKWALL, TX 75032

ESTATE OF CHARLES W FALLS
DAVID CHARLES FALLS, EXECUTOR
309 ROOKERY CT
MARCO ISLAND, FL 34145

FALLS DAVID AND TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

FALLS TERRI & DAVID
309 ROOKERY CT
MARCO ISLAND, FL 34145

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

520 YFLK LLC
3105 CORNELL AVENUE
DALLAS, TX 75205

WKB PARTNERS LP
463 KEYSTONE BEND
HEATH, TX 75032

CHEN QINGSHENG & YAN FENG
4715 147TH PL SE
BELLEVUE, WA 98006

LACY'S INVESTMENTS ENTERPRISES LLC
510 HIGHWATER CROSSING
ROCKWALL, TX 75032

LIGHT JEFFREY A AND LEIGH ANN
519 I 30 #140
ROCKWALL, TX 75032

LIGHT JEFF
519 INTERSTATE 30 #140
ROCKWALL, TX 75032

GJD REAL ESTATE LLC- 121 RUTHERFORD SERIES
637 FOREST BEND DRIVE
PLANO, TX 75025

MARICH GARY C
7822 STONEHAVEN LN
ROWLETT, TX 75089

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

CARRIZALES ERI & LENNY
PO BOX 1244
ROCKWALL, TX 75087

RSB TOKEN INVESTMENTS LLC
PO BOX 1664
ROCKWALL, TX 75087

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

HENDERSON NORMA
PO BOX 705
ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-045: SUP for Solar Panels

Hold a public hearing to discuss and consider a request by Tony Trammel for the approval of a *Specific Use Permit (SUP)* for Solar Panels exceeding 1,000 SF of coverage on a residential home situated on a 0.1947-acre parcel of land identified as Lot 20, Block D, Lynden Park Estates Subdivision, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17) for Single Family 7 (SF-7) District land uses, addressed as 125 Lanshire Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, October 11, 2022 at 6:00 PM, and the City Council will hold a public hearing on Monday, October 17, 2022 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, October 17, 2022 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-045: SUP for Solar Panels

Please place a check mark on the appropriate line below:

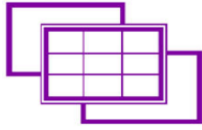
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)



30 August 2022

UNIRAC

1411 Broadway Blvd. NE

Albuquerque, NM 87102

REFERENCE: Charles Fisher: 125 Lanshire Dr, Rockwall, TX 75032 USA

Solar Array Installation

To Whom It May Concern:

We have reviewed the existing structure referenced above. The purpose of the review was to evaluate its adequacy to support the proposed installation of solar panels on the roof as shown on the panel layout plan drawings. Based upon our review, we conclude that the existing structure is adequate to support the proposed solar panel installation.

Design Parameter

Code: International Building Code 2015 (IBC 2015)

Risk Category: II

Design wind speed: 115 MPH

Wind exposure category: B

Ground snow load: 5 PSF

Seismic design category: B

Existing Roof Structure

Roof Structure: 2"x4" rafters @24" o.c.

Roofing material: Comp Shingle

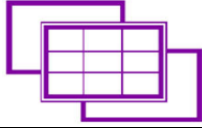
Connection to Roof

Mounting connection: One 5/16 in lag screw w/ min. 2.5 in embedment into framing at max. 72 in o.c. along rails

Two rails per row of panels, evenly spaced; panel length perpendicular to the rails not to exceed 74 in

Conclusions

Based upon our evaluation, we conclude that the existing structure is adequate to support the proposed solar panel installation. In the area of the solar array, other live loads will not be present or will be greatly reduced (2015 IBC, Section 1607.12.5). The glass surface of the solar panels allows for a lower slope factor per ASCE 7, resulting in reduced design snow load on the panels. The stresses of the structural elements, resulting from the altered gravity loads in the area of the solar array are either decreased or increased by no more than 5%. Therefore, the requirements of Section 403.3 of the 2015 IEBC are met and the structure is permitted to remain unaltered.



The solar array will be flush-mounted (not more than 5 in above the roof surface) and parallel to the roof surface. Thus, we conclude that any additional wind loading on the structure related to the addition of the proposed solar array is negligible. The attached calculations verify the capacity of the connections of the solar array to the existing roof against wind (uplift), the governing load case. Regarding seismic loads, we conclude that any additional forces will be small. As per Section 1613.1, Exception-1 of the 2015 IBC, detached one- and two-family dwellings with Seismic Design Category A, B or C or located where the mapped short-period spectral response acceleration, S_s , is less than 0.4 g are exempted from seismic load. Therefore the existing lateral force resisting system can remain unaltered.

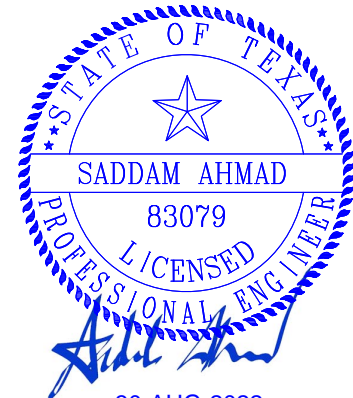
Limitations

Installation of the solar panels must be performed in accordance with manufacturer recommendations. All work performed must be in accordance with accepted industry-wide methods and applicable safety standards. The contractor must notify Engineering Alliance Inc. should any damage, deterioration or discrepancies between the as-built condition of the structure and the condition described in this letter be found. Connections to existing roof framing must be staggered, except at array ends, so as not to overload any existing structural member. The use of solar panel support span tables provided by others are allowed only where the building type, site conditions, site-specific design parameters, and solar panel configuration match the description of the span tables. The design of the solar panel racking (mounts, rails, etc.) and electrical engineering is the responsibility of others. Waterproofing around the roof penetrations is the responsibility of others. Engineering Alliance Inc assumes no responsibility for improper installation of the solar array.

Please feel free to call for any questions or clarifications.

Prepared by

Engineering Alliance, Inc
Sugar Land, TX
Phone: 832 865 4757



30-AUG-2022
Engineering Alliance, Inc
TX Firm Reg. # F-10447



Engineering Alliance, Inc

Project:	Charles Fisher		
Location:	125 Lanshire Dr, Rockwall, TX 75032 USA		
Designer:	SA	Date:	30 August 2022

Calculations per ASCE 7-10
International Building Code 2015 (IBC 2015)

ROOF DEAD LOAD (D):

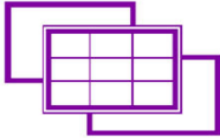
Material	Design material weight (psf)	Increase due to pitch	Material weight (psf)
Comp Shingle	2.23	1.11	2
1/2" Plywood	1.1	1.11	1
Framing	3		3
Insulation	0.5		0.5
1/2" Gypsum Clg.	2.2	1.11	2
M, E & Misc	1.5		1.5
Total Dead Load	10.6		
PV Array Dead Load	3.3	1.11	3

ROOF LIVE LOAD (Lr):

Existing Design Roof Live Load [psf]	20	ASCE 7-10, Table 4-1
Roof Live Load With PV Array [psf]	0	2015 IBC, Section 1607.12.5

SEISMIC LOAD, (E):

Risk category:	II	Table 1.5-1
Seismic Design Category:	B	Table 11.6-2
I_p :	1	Table 1.5-2
Site Class:	D	
R_p :	1.5	Table 13.6-1
S_s :	0.103	
S_1 :	0.055	
a_p :	1	Table 13.6-1
z:	1	ft
h:	1	ft
z/h:	1	
F_a :	1.6	Table 11.4-1
F_v :	2.4	Table 11.4-2
S_{MS} :	0.165	Eqs. 11.4-1
S_{M1} :	0.132	Eqs. 11.4-2
S_{DS} :	0.110	Eqs. 11.4-3
S_{D1} :	0.088	Eqs. 11.4-4



Engineering Alliance, Inc

Project:	Charles Fisher		
Location:	125 Lanshire Dr, Rockwall, TX 75032 USA		
Designer:	SA	Date:	30 August 2022

SITE-SPECIFIC WIND PARAMETERS:

Basic Wind Speed [mph]:	105	
Exposure Category:	B	Sec. 26.7.3
Risk Category:	II	Table 1.5-1
Height of Roof, h [ft]:	30	(Approximate)
Roof Slope [°]:	26	
Site Elevation [ft]:	547	
Comp/Cladding Location:	Gable/Hip Roofs, $7^\circ < \theta \leq 27^\circ$	FIGURE 30.4-2B
Enclosure Classification:	Enclosed Buildings	
Zone 1 GC _p :	0.9	(enter largest abs. value)
Zone 2 GC _p :	1.7	(enter largest abs. value)
Zone 3 GC _p :	2.6	(enter largest abs. value)
α:	7	Table 26.9-1
z _g [ft]:	1200	Table 26.9-1
K _h :	0.70	Table 30.3-1
K _{zt} :	1	Equation 26.8-1
K _d :	0.85	Table 26.6-1
Velocity Pressure, q _h [psf]:	16.81	Equation 30.3-1
GC _{pi} :	0	Table 26.11-1

PRESSURES:

$$p = q_h((GC_p)-(GC_{pi})) \quad (\text{lb/ft}^2) \quad \text{Equation 30.9-1}$$

Zone 1 :	15.1	psf (1.0 W)
Zone 2 :	28.6	psf (1.0 W)
Zone 3 :	43.7	psf (1.0 W)

a [ft] = 3.6



Engineering Alliance, Inc

Project:	Charles Fisher		
Location:	125 Lanshire Dr, Rockwall, TX 75032 USA		
Designer:	SA	Date:	30 August 2022

COMPARE WIND & SEISMIC LOADS FOR CONNECTION (1 Sq. Ft. Section)

Wind Load, W:

Wind pressure, p:	9.1	psf (Zone 1: 0.6 W from wind pressure calculation)
Height, h:	1	ft
Width, w:	1	ft
F _{perp} :	9.1	lb (Uplift)

Seismic Load, E:

0.7 * F _{p,min} :	0.069	lb
0.7 * F _{p,max} :	0.369	lb
0.7 * F _{p,vert} :	0.046	lb
0.7 * F _{p,long} :	0.185	lb
0.7 * F _{p,perp} :	0.122	lb (uplift)

Wind (uplift) Controls Connection Design

CHECK INCREASE IN OVERALL SEISMIC LOADS

SEISMIC:

Seismic Design Category:	B
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As per Section 1613.1, Exception-1 of the 2015 IBC, Seismic load is Exempted.



Engineering Alliance, Inc

Project:	Charles Fisher		
Location:	125 Lanshire Dr, Rockwall, TX 75032 USA		
Designer:	SA	Date:	30 August 2022

Lag Screw Connection

Tributary Length (in):	74
Max Tributary Width (in):	72

Capacity:

Lag Screw Size[in] :	5/16	NDS Table 2.3.2
C_d :	1.6	
Embedment ¹ [in]:	2.5	NDS Table 12.2A
Grade:	SPF (G = 0.42)	
Capacity [lbs/in]:	205	
Number of Screws in tension:	1	
Prying Coefficient:	1.4	
Total Capacity [lbs]:	586	

Demand:

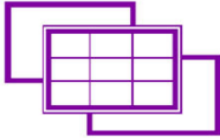
Zone	Pressure (0.6 Wind) (psf)	Max Tributary Width (ft)	Max. Trib. Length (ft)	Max. Trib. Area2 (ft2)	Max. Uplift Force (lbs)
Zone 1 :	6.1	6.0	3.1	18.5	112
Zone 2 :	14.1	6.0	3.1	18.5	262
Zone 3 :	23.2	6.0	3.1	18.5	430

Total Tension Force(lbs):	430
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Demand < Capacity: 73.3%, OK

Notes

1. Embedment is measured from the top of the framing member to the beginning of the tapered tip of the lag screw. Embedment in sheathing or other material is not effective. The length of the tapered tip is not part of the embedment length.
2. 'Max. Trib Area' is the product of the 'Max. Tributary Width' (along the rails) and 1/2 the panel width/height (perpendicular to the rails).



Engineering Alliance, Inc

Project:	Charles Fisher		
Location:	125 Lanshire Dr, Rockwall, TX 75032 USA		
Designer:	SA	Date:	30 August 2022

SNOW LOAD (S):

	Existing	w/ Solar Panel Array	
Roof Slope [x:12]:	5.9	5.9	
Roof Slope [°]:	26	26	
Snow Ground Load, p_g [psf]:	5	5	ASCE 7-10, Section 7.2
Surface Roughness Category:	B	B	ASCE 7-10, Table 7-2
Exposure of Roof:	Fully Exposed	Fully Exposed	ASCE 7-10, Table 7-2
Exposure Factor, C_e :	0.9	0.9	ASCE 7-10, Table 7-2
Thermal Factor, C_t :	1.1	1.1	ASCE 7-10, Table 7-3
Risk Category:	II	II	ASCE 7-10, Table 1.5-1
Importance Factor, I_s :	1	1	ASCE 7-10, Table 1.5-2
Flat Roof Snow Load, p_f [psf]:	3	3	ASCE 7-10, Equation 7.3-1
Minimum Roof Snow Load, p_m [psf]:	0	0	ASCE 7-10, Section 7.3.4
Unobstructed Slippery Surface?	NO	YES	ASCE 7-10, Section 7.4
Slope Factor Figure:	Figure 7-2b	Figure 7-2b	ASCE 7-10, Section 7.4
Roof Slope Factor, C_s :	1.00	0.73	ASCE 7-10, Figure 7-2
Sloped Roof Snow Load, p_s [psf]:	3	3	ASCE 7-10, Equation 7.4-1
Design Snow Load, S [psf]:	3	3	

Summary of Loads

	Existing	With PV Array
D [psf]	11	14
Lr [psf]	20	0
S [psf]	3	3

Maximum Gravity Loads:

	Existing	With PV Array	
$(D + Lr) / Cd$ [psf]	24	15	ASCE 7-10, Section 2.4.1
$(D + S) / Cd$ [psf]	12	14	ASCE 7-10, Section 2.4.1

(Cd = Load Duration Factor = 0.9 for D, 1.15 for S, and 1.25 for Lr)

Maximum Gravity Load [psf]:	24	15
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Ratio Proposed Loading to Current Loading: **63%**

OK

The gravity loads and; thus, the stresses of the structural elements, in the area of the solar array are either decreased or increased by no more than 5%. Therefore, the requirements of Section 403.3 of the 2015 IEBC are met and the structure is permitted to remain unaltered.

PHOTOVOLTAIC ROOF MOUNT SYSTEM

57 MODULES-ROOF MOUNTED - 22.80 kWDC, 16.53 kWAC

125 LANSHIRE DR, ROCKWALL, TX 75032 USA



SOLNOVA
2407 EAST LOOP 820 N, FORT WORTH, TX 76118
LICENSE NO.#: 35151

Regan George

SYSTEM SUMMARY:

- (N) 57 - HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W) MODULES
- (N) 57 - ENPHASE ENERGY IQ8PLUS-72-2-US MICRO-INVERTERS
- (N) 02 - JUNCTION BOX
- (E) 200A MAIN SERVICE PANEL WITH (N) 150A MAIN BREAKER
- (N) 100A NON FUSED AC DISCONNECT
- (N) 125A LOAD CENTER

DESIGN CRITERIA:

- ROOF TYPE: - COMP SHINGLE
- NUMBER OF LAYERS: - 01
- ROOF FRAME: - 2"X4" RAFTERS @24" O.C.
- STORY: - TWO STORY
- SNOW LOAD : - 5 PSF
- WIND SPEED :- 115 MPH
- WIND EXPOSURE:- B
- EXPOSURE CATEGORY:- II

GOVERNING CODES:

- 2017 NATIONAL ELECTRICAL CODE (NEC)
- 2015 INTERNATIONAL FIRE CODE (IFC)
- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2015 INTERNATIONAL MECHANICAL CODE (IMC)

SHEET INDEX

PV-0	COVER SHEET
PV-1	SITE PLAN WITH ROOF PLAN
PV-2	ROOF PLAN WITH MODULES
PV-3	ATTACHMENT DETAILS
PV-4	BRANCH LAYOUT
PV-5	ELECTRICAL LINE DIAGRAM
PV-6	ELECTRICAL CALCULATION
PV-6.1	LOAD CALCULATION & PANEL SCHEDULING
PV-7	PLACARDS & WARNING LABELS
PV-8	ADDITIONAL NOTES
PV-9+	EQUIPMENT SPEC SHEETS

CONSTRUCTION NOTE:

A LADDER SHALL BE IN PLACE FOR INSPECTION

THE PV MODULES ARE CONSIDERED NON-COMBUSTIBLE AND THIS SYSTEM IS A UTILITY GRID INTERACTIVE SYSTEM
A GROUNDING ELECTRODE SYSTEM IN ACCORDANCE WITH NEC 690-47 AND 250-50 THROUGH 60 250-166 SHALL BE PROVIDED PER NEC, GROUNDING ELECTRODE SYSTEM OF EXISTING BUILDING MAY BE USED AND BONDED TO AT THE SERVICE ENTRANCE. IF EXISTING SYSTEM IS INACCESSIBLE, OR INADEQUATE, OR IS ONLY METALLIC WATER PIPING, A SUPPLEMENTAL GROUNDING ELECTRODE WILL BE USED AT THE INVERTER LOCATION CONSISTING OF A UL LISTED 8 FT GROUND ROD WITH ACORN CLAMP. GROUNDING ELECTRODE CONDUCTORS SHALL BE NO LESS THAN #8 AWG AND NO GREATER THAN #8 AWG COPPER AND BONDED TO THE EXISTING GROUNDING ELECTRODE TO PROVIDE OR A COMPLETE GROUND.

EACH MODULE WILL BE GROUNDED USING THE SUPPLIED GROUNDING POINTS IDENTIFIED BY THE MANUFACTURER.

EXPOSED NON-CURRENT CARRYING METAL PARTS OF MODULE FRAMES, EQUIPMENT, AND CONDUCTOR ENCLOSURES SHALL BE GROUNDED IN ACCORDANCE WITH 250.134 OR 250.138(A) REGARDLESS OF VOLTAGE.

PROPER ACCESS AND WORKING CLEARANCE AROUND EXISTING AND PROPOSED ELECTRICAL EQUIPMENT WILL BE PROVIDED

ALL SIGNAGE WILL BE INSTALLED AS REQUIRED BY AND 2020 NEC.

HEIGHT OF INTEGRATED AC/DC DISCONNECT SHALL NOT EXCEED 6' 7" PER NEC 240.24

THE GROUNDING ELECTRODE CONDUCTOR SHALL BE PROTECTED FROM PHYSICAL DAMAGE BETWEEN THE GROUNDING ELECTRODE AND THE PANEL (OR INVERTER) IF SMALLER THAN #6 AWG COPPER WIRE PER NEC 250-64B. THE GROUNDING ELECTRODE CONDUCTOR WILL BE CONTINUOUS, EXCEPT FOR SPLICES OR JOINTS AT BUSBARS WITHIN LISTED EQUIPMENT PER NEC 250.64C. ALL EXTERIOR CONDUIT SHALL BE PAINTED TO MATCH ADJACENT SURFACES.

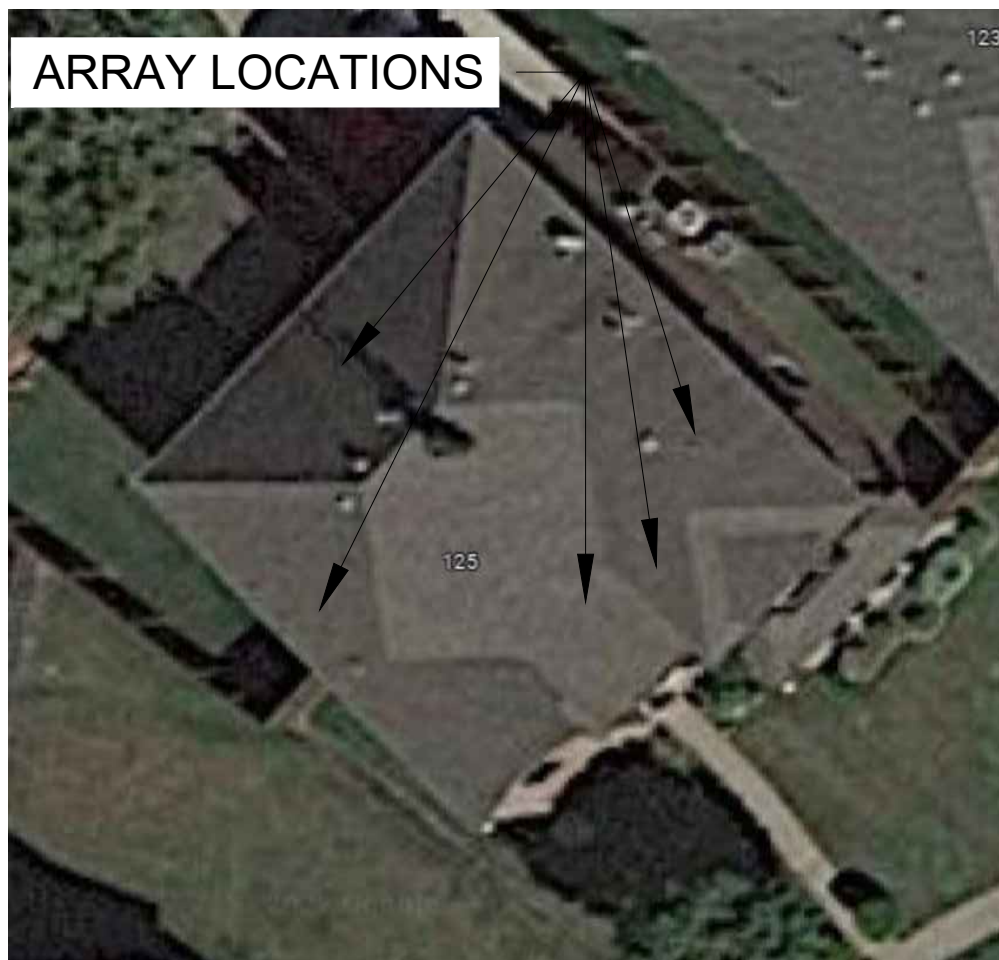
THE PV CONNECTION IN THE PANEL BOARD SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION. NEC 690.64(B)(7)

SITE CONDITIONS SHALL PREVAIL IF NO SCALE IS GIVEN. DRAWINGS ARE NOT NECESSARILY TO SCALE. ALL DIMENSIONS SHALL BE VERIFIED BY SUBCONTRACTOR UPON COMMENCEMENT OF CONSTRUCTION.

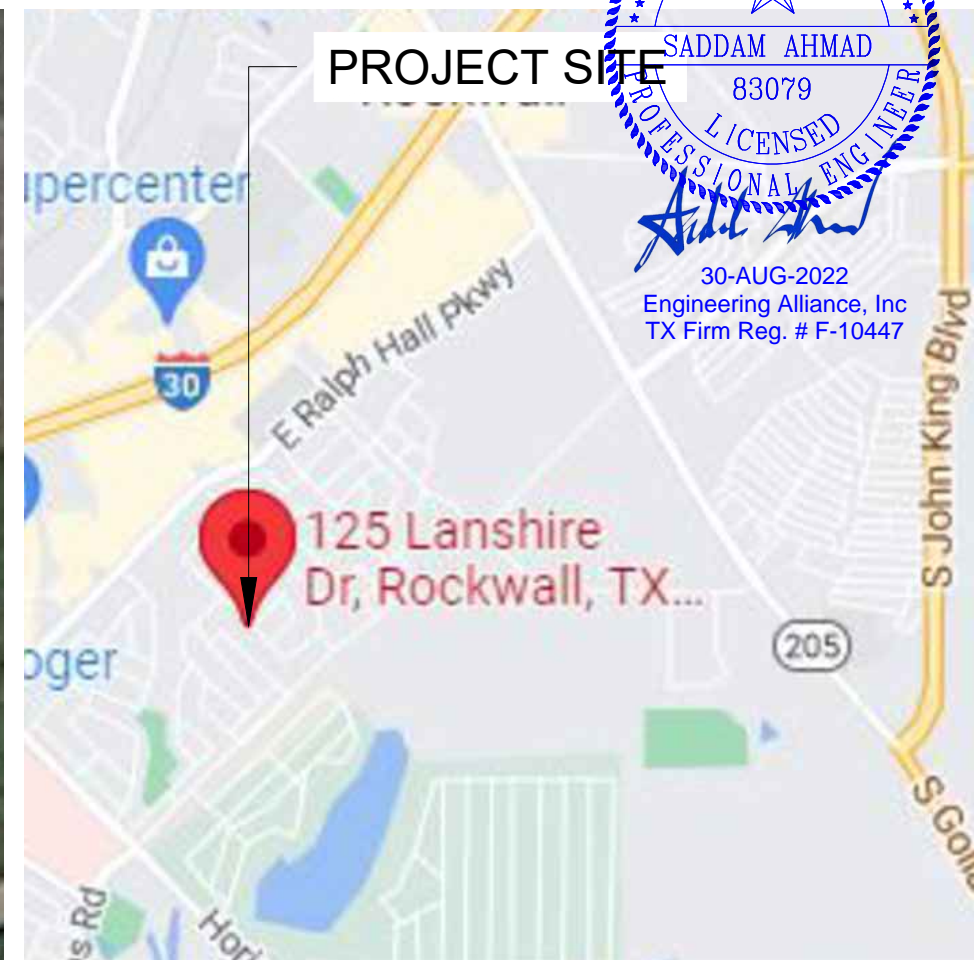
DERATE: (E) 200A MAIN BREAKER TO BE DERATED TO (N) 150A TO ALLOW BACKFEED OF 90A

(E) UTILITY ESID NO: 10443720008968805

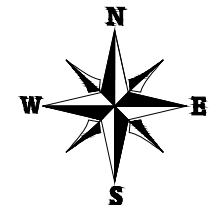
(E) METER NO: 158869664



1 | AERIAL PHOTO
PV-0 | SCALE: NTS



2 | VICINITY MAP
PV-0 | SCALE: NTS



VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D0020000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME

COVER SHEET

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-0

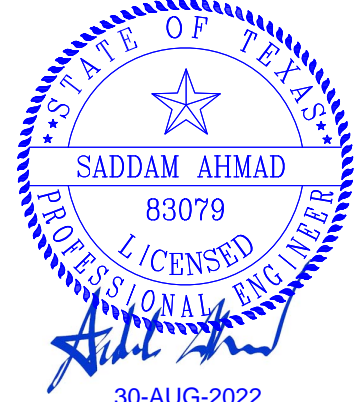
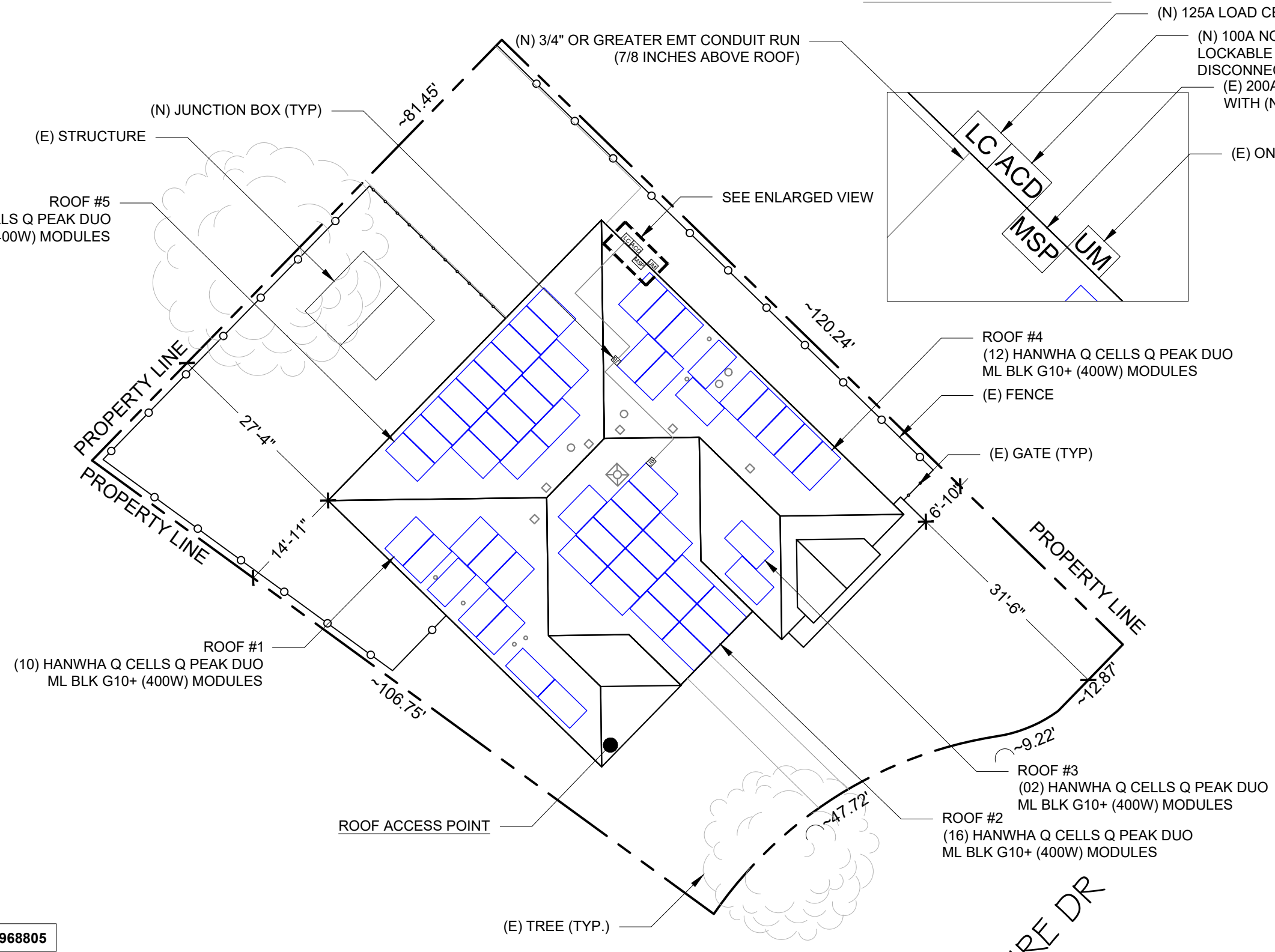
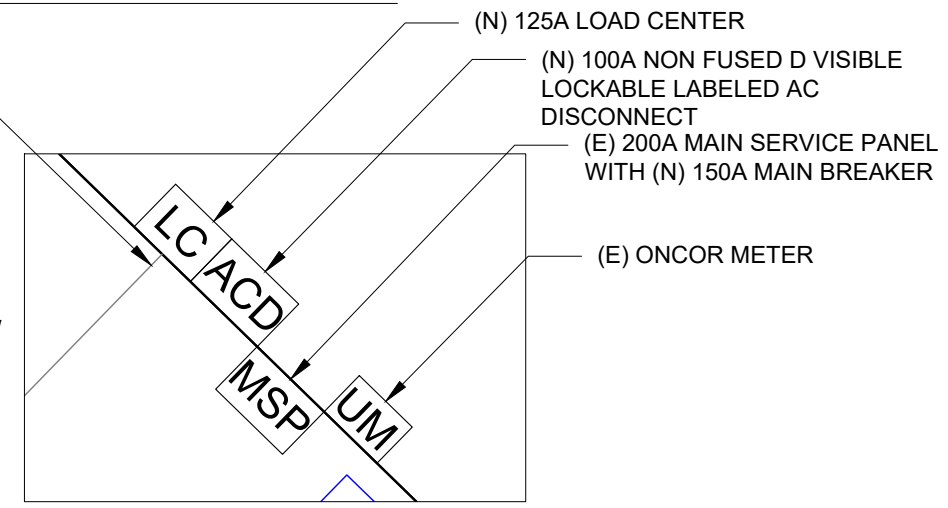
● **ROOF ACCESS POINT** SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS, AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES OR SIGNS.



SOLNOVA
2407 EAST LOOP 820 N, FORT WORTH, TX 76118
LICENSE NO.#: 35151

Regan George

ENLARGED VIEW



30-AUG-2022
Engineering Alliance, Inc
TX Firm Reg. # F-10447

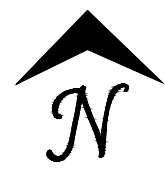
NOTE: THE AC DISCONNECT IS LOCATED WITHIN 10FT OF UTILITY METER

(E) UTILITY ESID NO: 10443720008968805

(E) METER NO: 158869664

1 SITE PLAN WITH ROOF PLAN

SCALE: 1/16" = 1'-0"



VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D002000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME

SITE PLAN WITH ROOF PLAN

SHEET SIZE

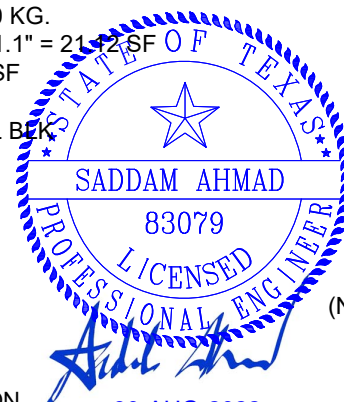
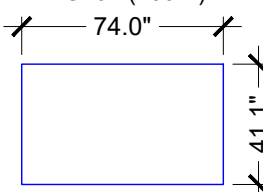
ANSI B
11" X 17"

SHEET NUMBER

PV-1

MODULE TYPE, DIMENSIONS & WEIGHT

NUMBER OF MODULES = 57 MODULES
 MODULE TYPE = HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W) MODULES
 MODULE WEIGHT = 48.5 LBS / 22.0 KG.
 MODULE DIMENSIONS = 74.0" X 41.1" = 21.2 SF
 UNIT WEIGHT OF ARRAY = 2.30 PSF
 PHOTOVOLTAIC MODULES
 HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W)



NOTE:
 INTERNATIONAL FIRE CODE SECTION 605.11.1.2 FOR RESIDENTIAL R-3 OCCUPANCIES AT LEAST THREE (3) FEET OF CLEARANCE ALONG THE EDGE (RAKE) OF THE ROOF TO A PANEL AND AT LEAST THREE (3) FEET FROM THE RIDGE OF THE ROOF TO A PANEL. PANELS SHALL BE AT LEAST ONE AND ONE-HALF (1-1/2) FEET FROM A VALLEY OR HIP. NO CLEARANCE IS REQUIRED AT THE EAVE.
 INTERNATIONAL FIRE CODE SECTION 605.11.1.2.4 ROOFS WITH HIPS AND VALLEYS - WHERE PANELS ARE TO BE LOCATED ON ONLY ONE SIDE OF A HIP OR VALLEY THAT IS OF EQUAL LENGTH, THE PANELS SHALL BE PERMITTED TO BE PLACED DIRECTLY ADJACENT TO THE HIP OR VALLEY.
 GAS METER LOCATED IN PROXIMITY OF THE PV INSTALLATION, LOAD CENTER, AND/OR DISCONNECTS. DISCONNECTS SHALL BE LOCATED IN COMPLIANCE WITH UTILITY AND THE AHJ (AUTHORITY HAVING JURISDICTION). PV INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES.

THE WORKING CLEARANCES AROUND THE EXISTING ELECTRICAL EQUIPMENT AS WELL AS THE NEW ELECTRICAL EQUIPMENT WILL BE MAINTAINED IN ACCORDANCE WITH NEC 110.26.

PLUMBING VENTS, SKYLIGHTS AND MECHANICAL VENTS SHALL NOT BE COVERED, MOVED, RE-ROUTED OR RE-LOCATED.

BILL OF MATERIALS		
EQUIPMENT	QTY	DESCRIPTION
RAIL	33	ECOFASTEN CLICK RAIL 168" DARK
SPLICE	10	BND SPLICE BAR PRO SERIES DRK
MID CLAMP	74	UNIVERSAL AF MID CLAMPS
END CLAMP	80	UNIVERSAL AF END CLAMPS
ATTACHMENT	118	ECOFASTEN CLICKFIT
GROUNDING LUG	20	GROUND LUG

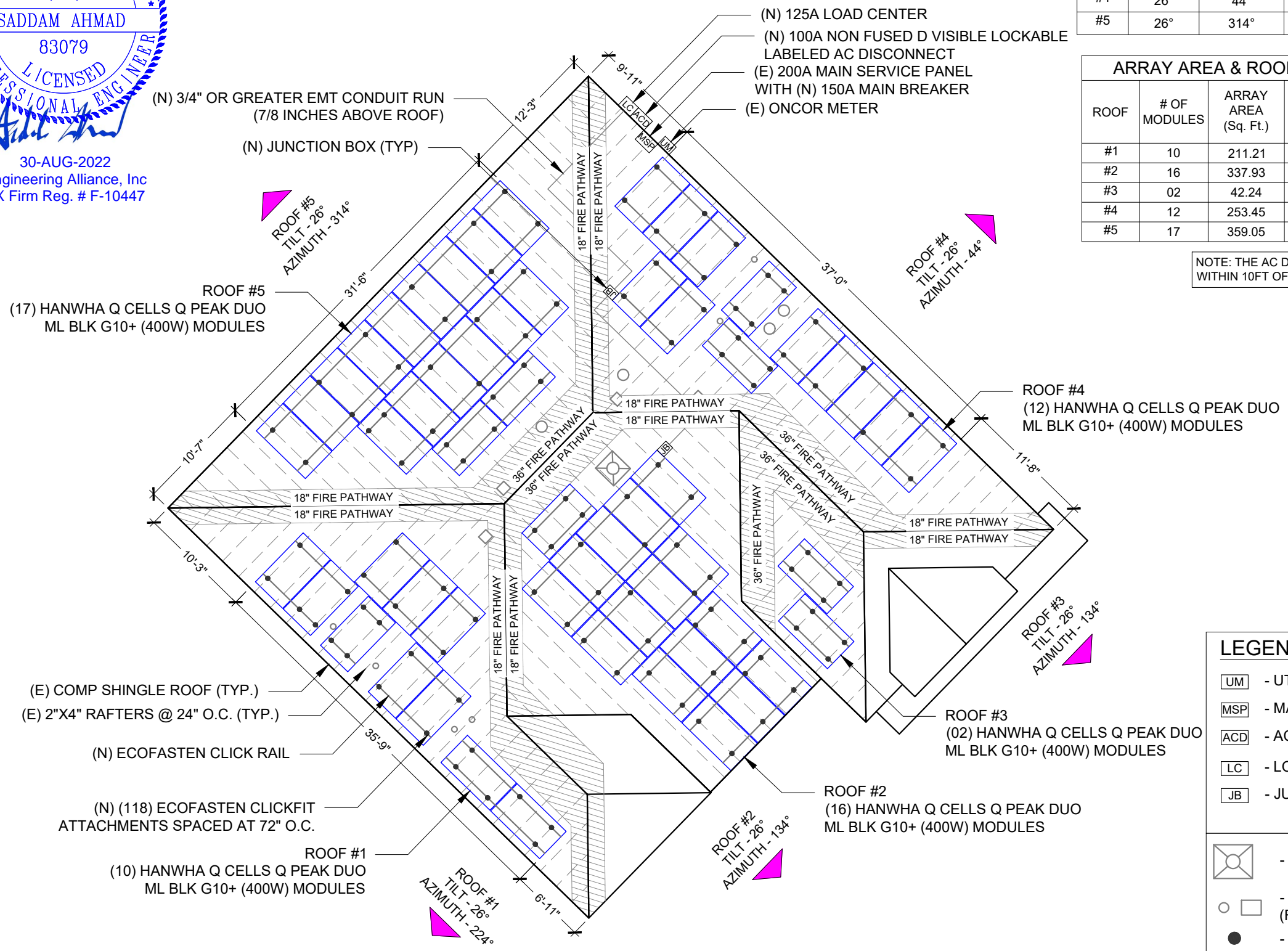
(E) UTILITY ESID NO: 10443720008968805

(E) METER NO: 158869664

ROOF DESCRIPTION				
ROOF TYPE		COMP SHINGLE ROOF		
ROOF	ROOF TILT	AZIMUTH	RAFTERS SIZE	RAFTERS SPACING
#1	26°	224°	2"x4"	24" O.C.
#2	26°	134°	2"x4"	24" O.C.
#3	26°	134°	2"x4"	24" O.C.
#4	26°	44°	2"x4"	24" O.C.
#5	26°	314°	2"x4"	24" O.C.

ARRAY AREA & ROOF AREA CALC'S				
ROOF	# OF MODULES	ARRAY AREA (Sq. Ft.)	ROOF AREA (Sq. Ft.)	ROOF AREA COVERED BY ARRAY (%)
#1	10	211.21	539.16	39.17
#2	16	337.93	639.38	52.85
#3	02	42.24	189.84	22.25
#4	12	253.45	649.38	39.03
#5	17	359.05	705.06	50.93

NOTE: THE AC DISCONNECT IS LOCATED WITHIN 10FT OF UTILITY METER

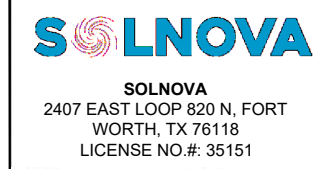


LEGEND	
	- UTILITY METER
	- MAIN SERVICE PANEL
	- AC DISCONNECT
	- LOAD CENTER
	- JUNCTION BOX
	- CHIMNEY
	- VENT, ATTIC FAN (ROOF OBSTRUCTION)
	- ROOF ATTACHMENT
	- RAFTERS
	- CONDUIT
	- FIRE PATHWAY

NOTE: ACTUAL ROOF CONDITIONS AND RAFTERS (OR SEAM) LOCATIONS MAY VARY. INSTALL PER MANUFACTURER(S) INSTALLATION GUIDELINES AND ENGINEERED SPANS FOR ATTACHMENTS

1 ROOF PLAN WITH MODULES

SCALE: 3/32" = 1'-0"



Regan George

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME
CHARLES FISHER
 125 LANSHIRE DR,
 ROCKWALL, TX 75032 USA
 APN# 4334000D002000R
 UTILITY: ONCOR
 AHJ: CITY OF ROCKWALL

SHEET NAME	ROOF PLAN WITH MODULES
SHEET SIZE	ANSI B 11" X 17"
SHEET NUMBER	PV-2

(E) UTILITY ESID NO: 10443720008968805

(E) METER NO: 158869664

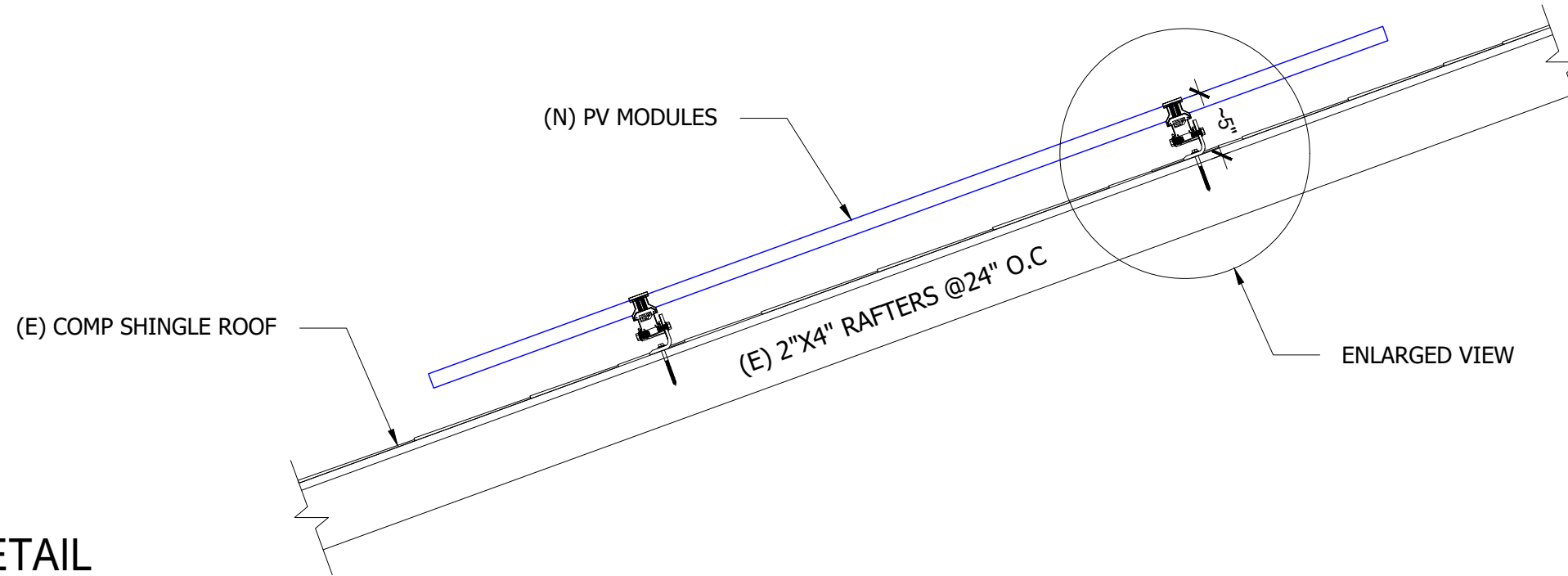


NOTE: ACTUAL ROOF CONDITIONS AND RAFTERS(OR SEAM) LOCATIONS MAY VARY. INSTALL PER MANUFACTURER(S) INSTALLATION GUIDELINES AND ENGINEERED SPANS FOR ATTACHMENTS

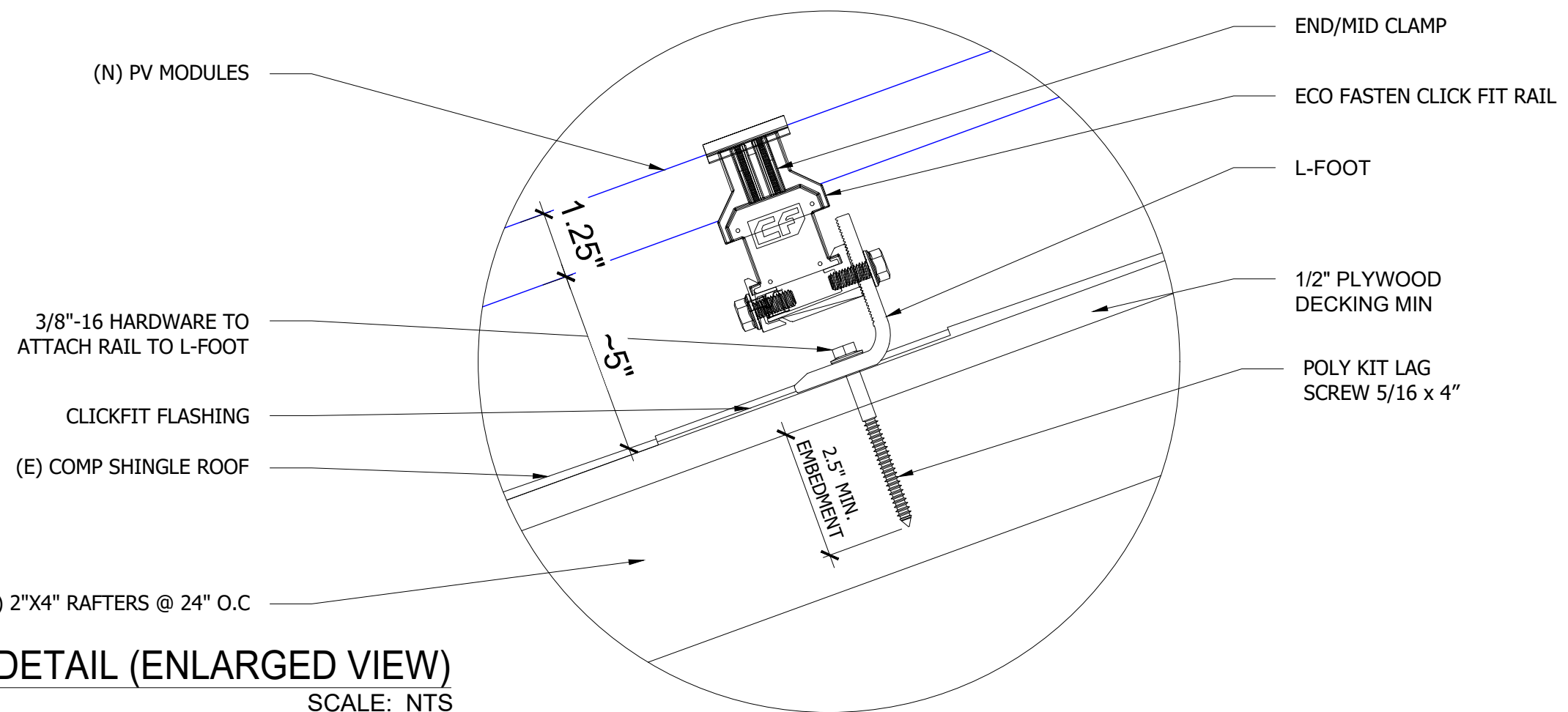


SOLNOVA
2407 EAST LOOP 820 N, FORT WORTH, TX 76118
LICENSE NO.#: 35151

Regan George



1 ATTACHMENT DETAIL
SCALE: NTS



2 ATTACHMENT DETAIL (ENLARGED VIEW)
SCALE: NTS

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D002000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME
ATTACHMENT
DETAIL

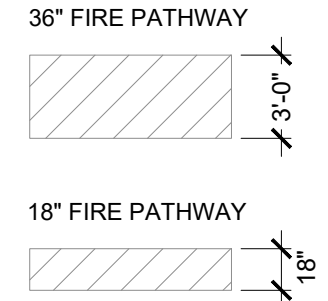
SHEET SIZE
ANSI B
11" X 17"

SHEET NUMBER
PV-3

(57) HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W) MODULES
 (57) ENPHASE ENERGY IQ8PLUS-72-2-US MICRO-INVERTERS
 (02) BRANCHES OF 12 MODULES &
 (03) BRANCHES OF 11 MODULES CONNECTED IN PARALLEL PER BRANCH

(E) UTILITY ESID NO: 10443720008968805

(E) METER NO: 158869664



SOLNOVA
 2407 EAST LOOP 820 N, FORT WORTH, TX 76118
 LICENSE NO.#: 35151

Regan George

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
 125 LANSHIRE DR,
 ROCKWALL, TX 75032 USA
 APN# 4334000D002000R
 UTILITY: ONCOR
 AHJ: CITY OF ROCKWALL

SHEET NAME

BRANCH LAYOUT

SHEET SIZE

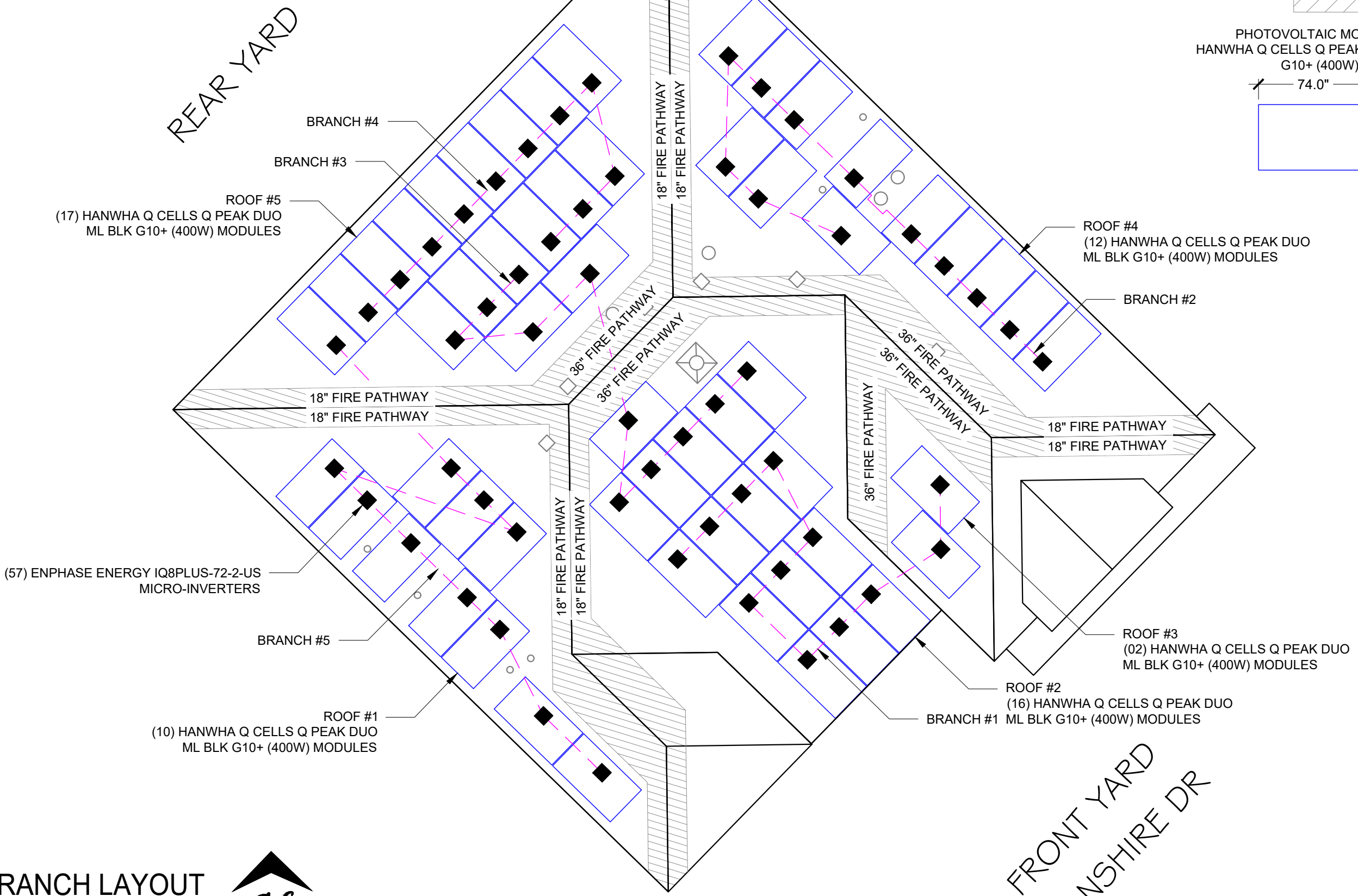
ANSI B
 11" X 17"

SHEET NUMBER

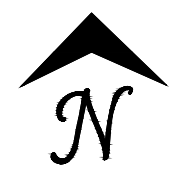
PV-4

REAR YARD

FRONT YARD
 LANSHIRE DR



1 BRANCH LAYOUT
 SCALE: 1/8" = 1'-0"



(57) HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W) MODULES
 (57) ENPHASE ENERGY IQ8PLUS-72-2-US MICRO-INVERTERS
 (02) BRANCHES OF 12 MODULES &
 (03) BRANCHES OF 11 MODULES CONNECTED IN PARALLEL PER BRANCH

SYSTEM SIZE:- 57 x 400W = 22.80 kWDC
 SYSTEM SIZE:- 57 x 290W = 16.53 kWAC

INTERCONNECTION
 120% RULE - NEC 705.12(B)(2)(3)(b)
UTILITY FEED + SOLAR BACKFEED
 150A +90A = 240A
BUSS RATING x 120%
 200A x 120% = 240A

BILL OF MATERIALS

EQUIPMENT	QTY	DESCRIPTION
SOLAR PV MODULE	57	HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W) MODULES
INVERTER	57	ENPHASE ENERGY IQ8PLUS-72-2-US MICRO-INVERTERS
JUNCTION BOX	2	600V, 55A MAX, 4 INPUTS, MOUNTED ON ROOF FOR WIRE & CONDUIT TRANSITION
LOAD CENTER	1	125A PV LOAD CENTER
AC DISCONNECT	1	100A NON FUSED, VISIBLE LOCKABLE LABELED AC DISCONNECT, 240VAC, NEMA 3R, UL LISTED.



SOLNOVA
 2407 EAST LOOP 820 N, FORT WORTH, TX 76118
 LICENSE NO.#: 35151

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VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
 125 LANSHIRE DR,
 ROCKWALL, TX 75032 USA
 APN# 433400D0020000R
 UTILITY: ONCOR
 AHJ: CITY OF ROCKWALL

SHEET NAME

ELECTRICAL LINE DIAGRAM

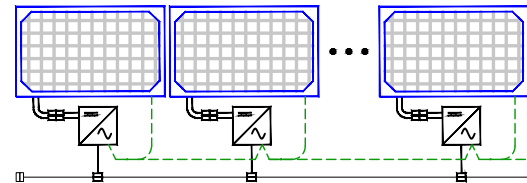
SHEET SIZE

ANSI B
 11" X 17"

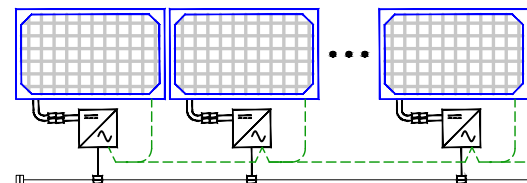
SHEET NUMBER

PV-5

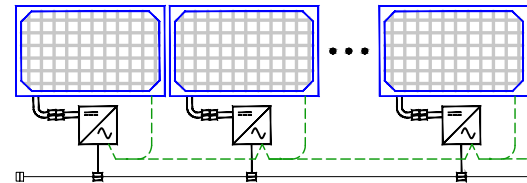
12 MICRO-INVERTERS IN BRANCH #1



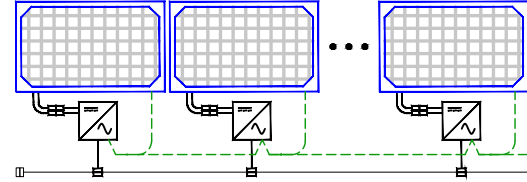
12 MICRO-INVERTERS IN BRANCH #2



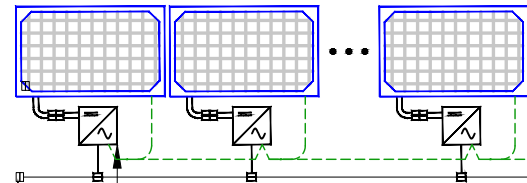
11 MICRO-INVERTERS IN BRANCH #3



11 MICRO-INVERTERS IN BRANCH #4



11 MICRO-INVERTERS IN BRANCH #5



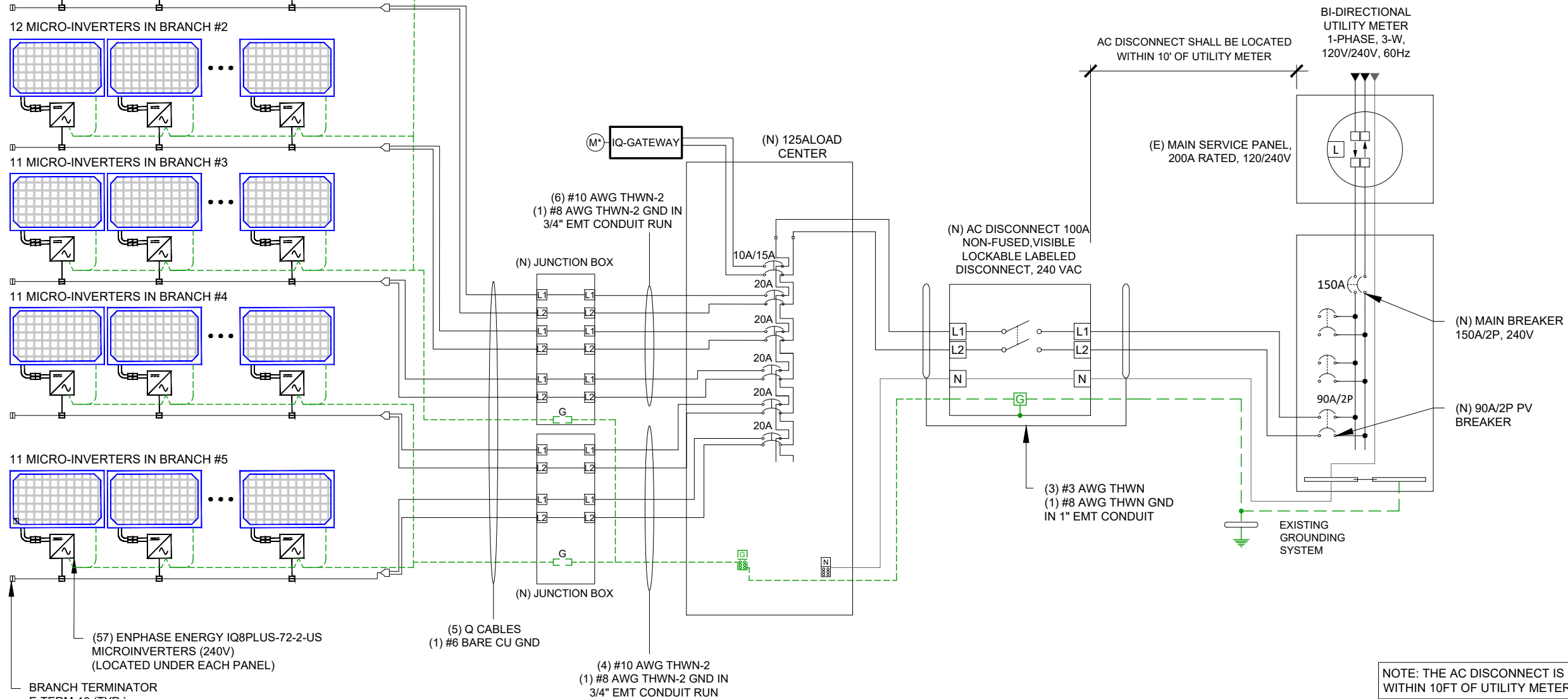
(57) ENPHASE ENERGY IQ8PLUS-72-2-US MICROINVERTERS (240V) (LOCATED UNDER EACH PANEL)

BRANCH TERMINATOR E-TERM-10 (TYP.)

DERATE: (E) 200A MAIN BREAKER TO BE DERATED TO (N) 150A TO ALLOW BACKFEED OF 90A

(E) UTILITY ESID NO: 10443720008968805

(E) METER NO: 158869664



NOTE: THE AC DISCONNECT IS LOCATED WITHIN 10FT OF UTILITY METER

THE WORKING CLEARANCES AROUND THE EXISTING ELECTRICAL EQUIPMENT AS WELL AS THE NEW ELECTRICAL EQUIPMENT WILL BE MAINTAINED IN ACCORDANCE WITH NEC 110.26.

ANY CONDUCTORS EXPOSED TO SUNLIGHT SHALL BE LISTED AS SUNLIGHT RESISTANT. (NEC 300.6 C1, 310.8 D)

PER NEC REQUIREMENTS GROUNDING CONDUCTORS SMALLER THAN 6AWG SHALL BE PROTECTED IN A CONDUIT, RACEWAY, OR ARMORED PROTECTIVE SHEATHING (NEC 250.64)

ROOM FOR EQUIPMENT WITHIN 5 FEET FROM MSP

WIRE RATED AND AMPACITY CALCULATED @ 90°C FOR ROOFTOP INSTALLATION AND ATTIC RUN TO INVERTER

GAS METER LOCATED IN PROXIMITY OF THE PV INSTALLATION, LOAD CENTER, AND/OR DISCONNECTS. DISCONNECTS SHALL BE LOCATED IN COMPLIANCE WITH UTILITY AND THE AHJ (AUTHORITY HAVING JURISDICTION). PV INSTALLATION SHALL COMPLY WITH ALL APPLICABLE CODES.

NOTE ON CONDUIT: ALL CONDUIT SHALL BE EMT 3/4" IN DIAMETER UNLESS OTHERWISE STATED

SERVICE INFO.

UTILITY PROVIDER: ONCOR
 MAIN SERVICE VOLTAGE: 240V
 MAIN PANEL BRAND: SQUARE D
 MAIN SERVICE PANEL: (E) 200A
 MAIN CIRCUIT BREAKER RATING: (N) 150A
 MAIN SERVICE LOCATION: NORTH-EAST
 SERVICE FEED SOURCE: UNDERGROUND

1 ELECTRICAL LINE DIAGRAM
 SCALE: NTS

SOLAR MODULE SPECIFICATIONS	
MANUFACTURER / MODEL #	HANWHA Q CELLS Q PEAK DUO ML BLK G10+ (400W)MODULES
VMP	37.13
IMP	10.77
VOC	45.30
ISC	11.14
MODULE DIMENSION	74.0"L x 41.1"W x 1.26"D (In Inch)

INVERTER SPECIFICATIONS	
MANUFACTURER / MODEL #	ENPHASE ENERGY IQ8PLUS-72-2-US
NOMINAL OUTPUT VOLTAGE	240 VAC
NOMINAL OUTPUT CURRENT	1.21A

AMBIENT TEMPERATURE SPECS	
WEATHER STATION: DALLAS LOVE FIELD	
RECORD LOW TEMP	-8°
AMBIENT TEMP (HIGH TEMP 2%)	37°
CONDUIT HEIGHT	0.9"
ROOF TOP TEMP.	37°
CONDUCTOR TEMPERATURE RATE (ON ROOF)	90°
CONDUCTOR TEMPERATURE RATE (OFF ROOF)	75°
MODULE TEMPERATURE COEFFICIENT OF Voc	-0.27%/°C

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
.80	4-6
.70	7-9
.50	10-20

**AC CONDUCTOR AMPACITY CALCULATIONS:
FROM JUNCTION BOX#1 TO LOAD CENTER:**

AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT
 EXPECTED WIRE TEMP (°C): 37°
 TEMP CORRECTION PER TABLE 310.15(B)(2)(a): 0.91
 # OF CURRENT CARRYING CONDUCTORS: 06
 CONDUIT FILL CORRECTION PER NEC 310.15(B)(3)(a): 0.80
 CIRCUIT CONDUCTOR SIZE: 10 AWG
 CIRCUIT CONDUCTOR AMPACITY: 40A

REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B):
 1.25 X # MICRO-INVERTERS (MAX. BRANCH LENGTH) X MAX OUTPUT CURRENT
 1.25 X 12 X 1.21A = 18.15A

DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.15(B)(2)(a)
 TEMP CORR. PER NEC TABLE 310.15(B)(2)(a) X
 CONDUIT FILL CORR. PER NEC 310.15(B)(3)(a) X
 CIRCUIT CONDUCTOR AMPACITY =
 0.91 X 0.80 X 40 = 29.12A

RESULT SHOULD BE GREATER THAN 18.15A OTHERWISE LESS THE ENTRY FOR CIRCUIT CONDUCTOR SIZE AND AMPACITY

**AC CONDUCTOR AMPACITY CALCULATIONS:
FROM JUNCTION BOX#2 TO LOAD CENTER:**

AMBIENT TEMPERATURE ADJUSTMENT FOR EXPOSED CONDUIT
 EXPECTED WIRE TEMP (°C): 37°
 TEMP CORRECTION PER TABLE 310.15(B)(2)(a): 0.91
 # OF CURRENT CARRYING CONDUCTORS: 04
 CONDUIT FILL CORRECTION PER NEC 310.15(B)(3)(a): 0.80
 CIRCUIT CONDUCTOR SIZE: 10 AWG
 CIRCUIT CONDUCTOR AMPACITY: 40A

REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(A&B):
 1.25 X # MICRO-INVERTERS (MAX. BRANCH LENGTH) X MAX OUTPUT CURRENT
 1.25 X 12 X 1.21A = 18.15A

DERATED AMPACITY OF CIRCUIT CONDUCTOR PER NEC TABLE 310.15(B)(2)(a)
 TEMP CORR. PER NEC TABLE 310.15(B)(2)(a) X
 CONDUIT FILL CORR. PER NEC 310.15(B)(3)(a) X
 CIRCUIT CONDUCTOR AMPACITY =
 0.91 X 0.80 X 40 = 29.12A

RESULT SHOULD BE GREATER THAN 18.15A OTHERWISE LESS THE ENTRY FOR CIRCUIT CONDUCTOR SIZE AND AMPACITY

**AC CONDUCTOR AMPACITY CALCULATIONS:
FROM LOAD CENTER TO INTERCONNECTION:**

OF INVERTERS: 57
 EXPECTED WIRE TEMP (°C): 37°
 TEMP CORRECTION PER TABLE 310.15(B)(2)(a): 0.88
 # OF CURRENT CARRYING CONDUCTORS: 3
 CONDUIT FILL PER NEC 310.15(B)(3)(a): 1.0
 CIRCUIT CONDUCTOR SIZE: 3 AWG
 CIRCUIT CONDUCTOR AMPACITY: 100A

REQUIRED CIRCUIT CONDUCTOR AMPACITY PER NEC 690.8(B):
 1.25 X # MICRO-INVERTERS X MAX OUTPUT CURRENT =
 1.25 X 1.21 X 57 = 86.21A

DERATED AMPACITY OF CIRCUIT CONDUCTORS PER NEC TABLE 310.16:
 TEMP CORR. PER NEC TABLE 310.15(B)(2)(a) X
 CONDUIT FILL CORR. PER NEC 310.15(B)(3)(a) X
 CIRCUIT CONDUCTOR AMPACITY =
 0.88 X 1.0 X 100 = 91A

RESULT SHOULD BE GREATER THAN 86.21A OTHERWISE LESS THE ENTRY FOR CIRCUIT CONDUCTOR SIZE AND AMPACITY



SOLNOVA
 2407 EAST LOOP 820 N, FORT WORTH, TX 76118
 LICENSE NO.#: 35151

Regan George

VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
 125 LANSHIRE DR,
 ROCKWALL, TX 75032 USA
 APN# 4334000D002000R
 UTILITY: ONCOR
 AHJ: CITY OF ROCKWALL

SHEET NAME
 ELECTRICAL CALCULATION

SHEET SIZE
 ANSI B
 11" X 17"

SHEET NUMBER
 PV-6

ELECTRICAL NOTES

- 1.) ALL EQUIPMENT TO BE LISTED BY UL OR OTHER NRTL, AND LABELED FOR ITS APPLICATION.
- 2.) ALL CONDUCTORS SHALL BE COPPER, RATED FOR 600 V AND 90 DEGREE C WET ENVIRONMENT.
- 3.) WIRING, CONDUIT, AND RACEWAYS MOUNTED ON ROOFTOPS SHALL BE ROUTED DIRECTLY TO, AND LOCATED AS CLOSE AS POSSIBLE TO THE NEAREST RIDGE, HIP, OR VALLEY.
- 4.) WORKING CLEARANCES AROUND ALL NEW AND EXISTING ELECTRICAL EQUIPMENT SHALL COMPLY WITH NEC 110.26.
- 5.) DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS. CONTRACTOR SHALL FURNISH ALL NECESSARY OUTLETS, SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES AND STANDARDS.
- 6.) WHERE SIZES OF JUNCTION BOXES, RACEWAYS, AND CONDUITS ARE NOT SPECIFIED, THE CONTRACTOR SHALL SIZE THEM ACCORDINGLY.
- 7.) ALL WIRE TERMINATIONS SHALL BE APPROPRIATELY LABELED AND READILY VISIBLE.
- 8.) MODULE GROUNDING CLIPS TO BE INSTALLED BETWEEN MODULE FRAME AND MODULE SUPPORT RAIL, PER THE GROUNDING CLIP MANUFACTURER'S INSTRUCTION.
- 9.) MODULE SUPPORT RAIL TO BE BONDED TO CONTINUOUS COPPER G.E.C. VIA WEEB LUG OR ILSCO GBL-4DBT LAY-IN LUG.
- 10.) THE POLARITY OF THE GROUNDED CONDUCTORS IS NEGATIVE

1 ELECTRICAL CALCULATION
 SCALE: NTS

⚠ WARNING
ELECTRIC SHOCK HAZARD
 TERMINALS ON THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL LOCATION:
 AC & DC DISCONNECT AND SUB PANEL
 (PER CODE: NEC 690.13(B))

⚠ WARNING DUAL POWER SOURCE
SECOND SOURCE IS PHOTOVOLTAIC SYSTEM

LABEL LOCATION:
 MAIN SERVICE PANEL & NET METER
 (PER CODE: NEC 705.12(D)(3), NEC 705.12(B)(3-4) & NEC 690.59)

PHOTOVOLTAIC
AC DISCONNECT

LABEL LOCATION:
 AC DISCONNECT
 NEC 690.13(B)

⚠ CAUTION
PHOTOVOLTAIC SYSTEM CIRCUIT IS BACKFED

LABEL LOCATION:
 MSP
 (PER CODE: NEC 690.13 (F), NEC 705.12(B)(3-4) & NEC 690.59)

RAPID SHUTDOWN SWITCH
FOR SOLAR PV SYSTEM

LABEL LOCATION:
 RAPID SHUTDOWN
 (PER CODE: NEC 690.56(C)(3))

PHOTOVOLTAIC SYSTEM AC DISCONNECT
 RATED AC OPERATING CURRENT 68.97 AMPS
 AC NOMINAL OPERATING VOLTAGE 240 VOLTS

LABEL LOCATION:
 AC DISCONNECT & INVERTER
 (PER CODE: NEC690.54)

⚠ WARNING
POWER SOURCE OUTPUT CONNECTION
DO NOT RELOCATE THIS OVERCURRENT DEVICE

LABEL LOCATION:
 SERVICE PANEL IF SUM OF BREAKERS EXCEEDS PANEL RATING
 (PER CODE: NEC 705.12 (B)(2)(3)(B))

WARNING:PHOTOVOLTAIC POWER SOURCE

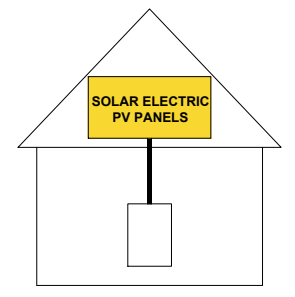
LABEL LOCATION:
 CONDUIT, COMBINER BOX
 (PER CODE: NEC 690.31(G)(3))

MAIN PHOTOVOLTAIC SYSTEM DISCONNECT

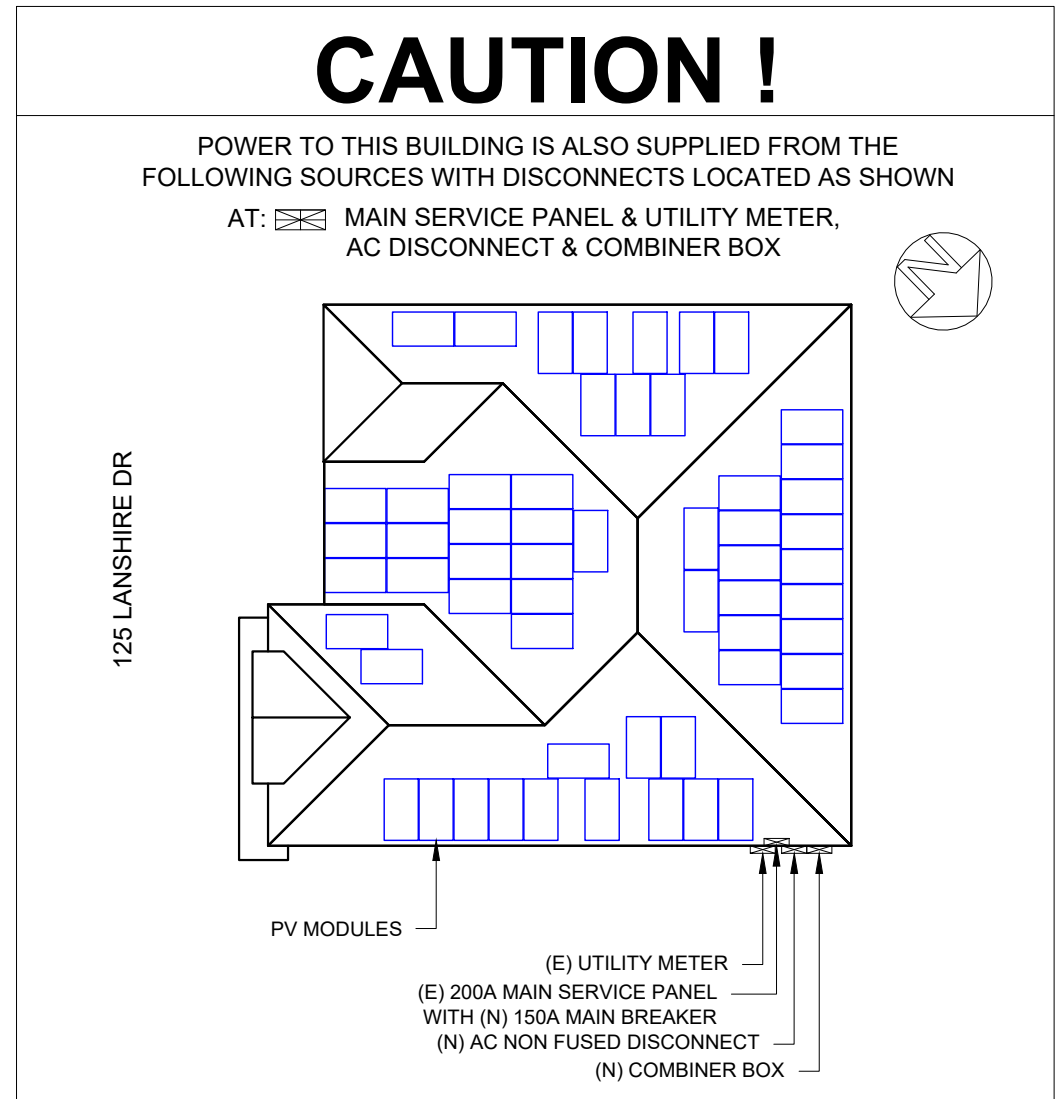
LABEL LOCATION:
 MAIN SERVICE DISCONNECT / UTILITY METER
 (PER CODE: NEC 690.13(B))

SOLAR PV SYSTEM EQUIPPED WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUTDOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN ARRAY



LABEL LOCATION:
 AC DISCONNECT, DC DISCONNECT, POINT OF INTERCONNECTION
 (PER CODE: 605.11.3.1(1) & 690.56(C)(1)(a))



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 2407 EAST LOOP 820 N, FORT WORTH, TX 76118
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PROJECT NAME
 CHARLES FISHER
 125 LANSHIRE DR,
 ROCKWALL, TX 75032 USA
 APN# 4334000D002000R
 UTILITY: ONCOR
 AHJ: CITY OF ROCKWALL

SHEET NAME
 WARNING LABELS & PLACARD

SHEET SIZE
 ANSI B
 11" X 17"

SHEET NUMBER
 PV-7

1. EACH MODULE TO BE GROUNDED USING THE SUPPLIED CONNECTION POINT PER MANUFACTURER'S REQUIREMENTS. ALL SOLAR MODULES, EQUIPMENT, AND METALLIC COMPONENTS ARE TO BE BONDED. IF THE EXISTING GROUNDING ELECTRODE SYSTEM CAN NOT BE VERIFIED OR IS ONLY METALLIC WATER PIPING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL A SUPPLEMENTAL GROUNDING ELECTRODE.
2. ALL PLAQUES AND SIGNAGE REQUIRED BY THE LATEST EDITION OF NATIONAL ELECTRICAL CODE. LABEL SHALL BE METALLIC OR PLASTIC, ENGRAVED OR MACHINE PRINTED IN A CONTRASTING COLOR TO THE PLAQUE. PLAQUE SHALL BE UV RESISTANT IF EXPOSED TO SUNLIGHT.
3. DC CONDUCTORS SHALL BE RUN IN EMT AND SHALL BE LABELED, "CAUTION DC CIRCUIT" OR EQUIV. EVERY 5 FT.
4. EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH 250.134 OR 250.136(A).
5. CONFIRM LINE SIDE VOLTAGE AT ELECTRIC UTILITY SERVICE PRIOR TO CONNECTING INVERTER. VERIFY SERVICE VOLTAGE IS WITHIN INVERTER VOLTAGE OPERATIONAL RANGE.
6. OUTDOOR EQUIPMENT SHALL BE NEMA-3R RATED OR BETTER.
7. ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT EXPANSION JOINTS AND ANCHOR CONDUIT RUNS AS REQUIRED PER NEC.
8. ALL WIRING MUST BE PROPERLY SUPPORTED BY DEVICES OR MECHANICAL MEANS DESIGNED AND LISTED FOR SUCH USE, AND FOR ROOF-MOUNTED SYSTEMS, WIRING MUST BE PERMANENTLY AND COMPLETELY HELD OFF OF THE ROOF SURFACE. NEC 110.2 - 110.4 / 300.4



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PROJECT NAME

CHARLES FISHER
 125 LANSHIRE DR,
 ROCKWALL, TX 75032 USA
 APN# 4334000D0020000R
 UTILITY: ONCOR
 AHJ: CITY OF ROCKWALL

SHEET NAME

ADDITIONAL NOTES

SHEET SIZE

ANSI B
 11" X 17"

SHEET NUMBER

PV-8

powered by
Q.ANTUM DUO Z



Q.PEAK DUO BLK ML-G10+

385-405

ENDURING HIGH PERFORMANCE



BREAKING THE 20% EFFICIENCY BARRIER

Q.ANTUM DUO Z Technology with zero gap cell layout boosts module efficiency up to 20.9%.



THE MOST THOROUGH TESTING PROGRAMME IN THE INDUSTRY

Q CELLS is the first solar module manufacturer to pass the most comprehensive quality programme in the industry. The new "Quality Controlled PV" of the independent certification institute TÜV Rheinland.



INNOVATIVE ALL-WEATHER TECHNOLOGY

Optimal yields, whatever the weather with excellent low-light and temperature behavior.



ENDURING HIGH PERFORMANCE

Long-term yield security with Anti LID Technology, Anti PID Technology¹, Hot-Spot Protect and Traceable Quality Tra.QTM.



EXTREME WEATHER RATING

High-tech aluminum alloy frame, certified for high snow (5400 Pa) and wind loads (4000 Pa).



A RELIABLE INVESTMENT

Inclusive 25-year product warranty and 25-year linear performance warranty².

¹ APT test conditions according to IEC/TS 62804-1:2015, method A (-1500 V, 96h)
² See data sheet on rear for further information.



6 BUSBAR CELL TECHNOLOGY

12 BUSBAR CELL TECHNOLOGY

THE IDEAL SOLUTION FOR:

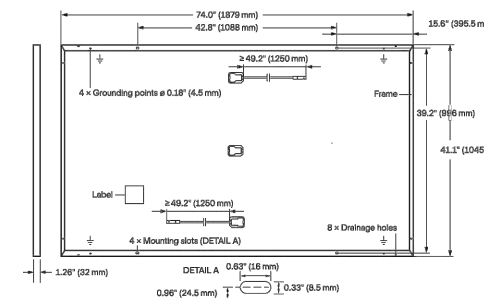


Engineered in Germany



MECHANICAL SPECIFICATION

Format	74.0 in × 41.1 in × 1.26 in (including frame) (1879 mm × 1045 mm × 32 mm)
Weight	48.5 lbs (22.0 kg)
Front Cover	0.13 in (3.2 mm) thermally pre-stressed glass with anti-reflection technology
Back Cover	Composite film
Frame	Black anodized aluminum
Cell	6 × 22 monocrystalline Q.ANTUM solar half cells
Junction Box	2.09-3.98 in × 1.26-2.36 in × 0.59-0.71 in (53-101 mm × 32-60 mm × 15-18 mm), IP67, with bypass diodes
Cable	4 mm ² Solar cable; (+) ≥ 49.2 in (1250 mm), (-) ≥ 49.2 in (1250 mm)
Connector	Stäubli MC4; IP68

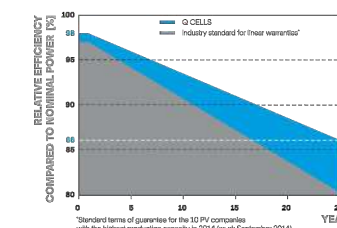


ELECTRICAL CHARACTERISTICS

POWER CLASS		385	390	395	400	405
MINIMUM PERFORMANCE AT STANDARD TEST CONDITIONS, STC ¹ (POWER TOLERANCE +5 W / -0 W)						
Power at MPP ¹	P _{MPP} [W]	385	390	395	400	405
Short Circuit Current ²	I _{SC} [A]	11.04	11.07	11.10	11.14	11.17
Open Circuit Voltage ²	V _{OC} [V]	45.19	45.23	45.27	45.30	45.34
Current at MPP	I _{MPP} [A]	10.59	10.65	10.71	10.77	10.83
Voltage at MPP	V _{MPP} [V]	36.36	36.62	36.88	37.13	37.39
Efficiency ²	η [%]	≥ 19.6	≥ 19.9	≥ 20.1	≥ 20.4	≥ 20.6
MINIMUM PERFORMANCE AT NORMAL OPERATING CONDITIONS, NMOT ²						
Power at MPP	P _{MPP} [W]	288.8	292.6	296.3	300.1	303.8
Short Circuit Current	I _{SC} [A]	8.90	8.92	8.95	8.97	9.00
Open Circuit Voltage	V _{OC} [V]	42.62	42.65	42.69	42.72	42.76
Current at MPP	I _{MPP} [A]	8.35	8.41	8.46	8.51	8.57
Voltage at MPP	V _{MPP} [V]	34.59	34.81	35.03	35.25	35.46

¹ Measurement tolerances P_{MPP} ± 3%; I_{SC}, V_{OC} ± 5% at STC: 1000 W/m², 25 ± 2°C, AM 1.5 according to IEC 60904-3 • ² 800 W/m², NMOT, spectrum AM 1.5

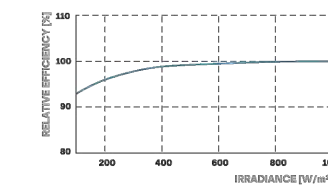
Q CELLS PERFORMANCE WARRANTY



At least 98% of nominal power during first year. Thereafter max. 0.5% degradation per year. At least 93.5% of nominal power up to 10 years. At least 86% of nominal power up to 25 years.

All data within measurement tolerances. Full warranties in accordance with the warranty terms of the Q CELLS sales organisation of your respective country.

PERFORMANCE AT LOW IRRADIANCE



Typical module performance under low irradiance conditions in comparison to STC conditions (25°C, 1000 W/m²)

TEMPERATURE COEFFICIENTS

Temperature Coefficient of I _{SC}	α [%/K]	+0.04	Temperature Coefficient of V _{OC}	β [%/K]	-0.27
Temperature Coefficient of P _{MPP}	γ [%/K]	-0.34	Nominal Module Operating Temperature	NMOT [°F]	109 ± 5.4 (43 ± 3°C)

PROPERTIES FOR SYSTEM DESIGN

Maximum System Voltage V _{sys} [V]	1000 (IEC) / 1000 (UL)	PV module classification	Class II
Maximum Series Fuse Rating [A DC]	20	Fire Rating based on ANSI / UL 61730	TYPE 2
Max. Design Load, Push / Pull ³ [lbs/ft ²]	75 (3600 Pa) / 55 (2660 Pa)	Permitted Module Temperature on Continuous Duty	-40 °F up to +185 °F (-40 °C up to +85 °C)
Max. Test Load, Push / Pull ³ [lbs/ft ²]	113 (5400 Pa) / 84 (4000 Pa)		

³ See Installation Manual

QUALIFICATIONS AND CERTIFICATES

UL 61730, CE-compliant, Quality Controlled PV - TÜV Rheinland, IEC 61215:2016, IEC 61730:2016, U.S. Patent No. 9,893,215 (solar cells).



PACKAGING INFORMATION

Horizontal packaging	76.4 in 1940 mm	43.3 in 1100 mm	48.0 in 1220 mm	1656 lbs 751 kg	24 pallets	24 pallets	32 modules
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Note: Installation instructions must be followed. See the installation and operating manual or contact our technical service department for further information on approved installation and use of this product.

Hanwha Q CELLS America Inc.
400 Spectrum Center Drive, Suite 1400, Irvine, CA 92618, USA | TEL +1 949 748 59 96 | EMAIL inquiry@us.q-cells.com | WEB www.q-cells.us



SOLNOVA
2407 EAST LOOP 820 N, FORT
WORTH, TX 76118
LICENSE NO.#: 35151

Regan George

VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D002000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME

SPEC SHEETS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-9

Specifications subject to technical changes © Q CELLS Q.PEAK DUO BLK ML-G10+ 385-405 DA_2022-02_Rev01_NA



DATA SHEET



IQ8 and IQ8+ Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software-defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application-specific integrated circuit (ASIC) which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built in advanced 55nm technology with high speed digital logic and has super-fast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the Enphase IQ Battery, Enphase IQ Gateway, and the Enphase App monitoring and analysis software.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-n-play MC4 connectors.



IQ8 Series Microinverters are UL Listed as PV Rapid Shut Down Equipment and conform with various regulations, when installed according to manufacturer's instructions.

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IQ8SP-DS-0002-01-EN-US-2022-03-17

Easy to install

- Lightweight and compact with plug-n-play connectors
- Power Line Communication (PLC) between components
- Faster installation with simple two-wire cabling

High productivity and reliability

- Produce power even when the grid is down*
- More than one million cumulative hours of testing
- Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

Microgrid-forming

- Complies with the latest advanced grid support**
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meets CA Rule 21 (UL 1741-SA) requirements

* Only when installed with IQ System Controller 2, meets UL 1741.

** IQ8 and IQ8Plus supports split phase, 240V installations only.

IQ8 and IQ8+ Microinverters

INPUT DATA [DC]		IQ8-60-2-US	IQ8PLUS-72-2-US
Commonly used module pairings ¹	W	235 – 350	235 – 440
Module compatibility		60-cell/120 half-cell	60-cell/120 half-cell, 66-cell/132 half-cell and 72-cell/144 half-cell
MPPT voltage range	V	27 – 37	29 – 45
Operating range	V	25 – 48	25 – 58
Min/max start voltage	V	30 / 48	30 / 58
Max input DC voltage	V	50	60
Max DC current ² [module Isc]	A		15
Overvoltage class DC port			II
DC port backfeed current	mA		0
PV array configuration		1x1 Ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit	
OUTPUT DATA [AC]		IQ8-60-2-US	IQ8PLUS-72-2-US
Peak output power	VA	245	300
Max continuous output power	VA	240	290
Nominal (L-L) voltage/range ³	V	240 / 211 – 264	
Max continuous output current	A	1.0	1.21
Nominal frequency	Hz	60	
Extended frequency range	Hz	50 – 68	
AC short circuit fault current over 3 cycles	Arms	2	
Max units per 20 A (L-L) branch circuit ⁴		16	13
Total harmonic distortion		<5%	
Overvoltage class AC port		III	
AC port backfeed current	mA	30	
Power factor setting		1.0	
Grid-tied power factor (adjustable)		0.85 leading – 0.85 lagging	
Peak efficiency	%	97.5	97.6
CEC weighted efficiency	%	97	97
Night-time power consumption	mW	60	
MECHANICAL DATA			
Ambient temperature range		-40°C to +60°C (-40°F to +140°F)	
Relative humidity range		4% to 100% (condensing)	
DC Connector type		MC4	
Dimensions (HxWxD)		212 mm (8.3") x 175 mm (6.9") x 30.2 mm (1.2")	
Weight		1.08 kg (2.38 lbs)	
Cooling		Natural convection – no fans	
Approved for wet locations		Yes	
Pollution degree		PD3	
Enclosure		Class II double-insulated, corrosion resistant polymeric enclosure	
Environ. category / UV exposure rating		NEMA Type 6 / outdoor	
COMPLIANCE			
Certifications		CA Rule 21 (UL 1741-SA), UL 62109-1, UL1741/IEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01	
		This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC 2014, NEC 2017, and NEC 2020 section 690.12 and C22.1-2018 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according to manufacturer's instructions.	

(1) No enforced DC/AC ratio. See the compatibility calculator at <https://link.enphase.com/module-compatibility>

(2) Maximum continuous input DC current is 10.6A (3) Nominal voltage range can be extended beyond nominal if required by the utility. (4) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

IQ8SP-DS-0002-01-EN-US-2022-03-17



SOLNOVA
2407 EAST LOOP 820 N, FORT WORTH, TX 76118
LICENSE NO.#: 35151

Regan George

VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 433400D002000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME

SPEC SHEETS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-10

Enphase IQ Combiner 4/4C

X-IQ-AM1-240-4
X-IQ-AM1-240-4C



X-IQ-AM1-240-4C

X-IQ-AM1-240-4



To learn more about Enphase offerings, visit enphase.com



The **Enphase IQ Combiner 4/4C** with Enphase IQ Gateway and integrated LTE-M1 cell modem (included only with IQ Combiner 4C) consolidates interconnection equipment into a single enclosure and streamlines IQ microinverters and storage installations by providing a consistent, pre-wired solution for residential applications. It offers up to four 2-pole input circuits and Eaton BR series busbar assembly.

Smart

- Includes IQ Gateway for communication and control
- Includes Enphase Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), included only with IQ Combiner 4C
- Includes solar shield to match Enphase IQ Battery aesthetics and deflect heat
- Flexible networking supports Wi-Fi, Ethernet, or cellular
- Optional AC receptacle available for PLC bridge
- Provides production metering and consumption monitoring

Simple

- Centered mounting brackets support single stud mounting
- Supports bottom, back and side conduit entry
- Up to four 2-pole branch circuits for 240 VAC plug-in breakers (not included)
- 80A total PV or storage branch circuits

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year limited warranty
- Two years labor reimbursement program coverage included for both the IQ Combiner SKU's
- UL listed

Enphase IQ Combiner 4/4C

MODEL NUMBER

IQ Combiner 4 (X-IQ-AM1-240-4)	IQ Combiner 4 with Enphase IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and consumption monitoring (+/- 2.5%). Includes a silver solar shield to match the IQ Battery system and IQ System Controller 2 and to deflect heat.
IQ Combiner 4C (X-IQ-AM1-240-4C)	IQ Combiner 4C with Enphase IQ Gateway printed circuit board for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and consumption monitoring (+/- 2.5%). Includes Enphase Mobile Connect cellular modem (CELLMODEM-M1-06-SP-05), a plug-and-play industrial-grade cell modem for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.) Includes a silver solar shield to match the IQ Battery and IQ System Controller and to deflect heat.

ACCESSORIES AND REPLACEMENT PARTS (not included, order separately)

Ensemble Communications Kit COMMS-CELLMODEM-M1-06 CELLMODEM-M1-06-SP-05 CELLMODEM-M1-06-AT-05	- Includes COMMS-KIT-01 and CELLMODEM-M1-06-SP-05 with 5-year Sprint data plan for Ensemble sites - 4G based LTE-M1 cellular modem with 5-year Sprint data plan - 4G based LTE-M1 cellular modem with 5-year AT&T data plan
Circuit Breakers BRK-10A-2-240V BRK-15A-2-240V BRK-20A-2P-240V BRK-15A-2P-240V-B BRK-20A-2P-240V-B	Supports Eaton BR210, BR215, BR220, BR230, BR240, BR250, and BR260 circuit breakers. Circuit breaker, 2 pole, 10A, Eaton BR210 Circuit breaker, 2 pole, 15A, Eaton BR215 Circuit breaker, 2 pole, 20A, Eaton BR220 Circuit breaker, 2 pole, 15A, Eaton BR215B with hold down kit support Circuit breaker, 2 pole, 20A, Eaton BR220B with hold down kit support
EPLC-01	Power line carrier (communication bridge pair), quantity - one pair
XA-SOLARSHIELD-ES	Replacement solar shield for IQ Combiner 4/4C
XA-PLUG-120-3	Accessory receptacle for Power Line Carrier in IQ Combiner 4/4C (required for EPLC-01)
XA-ENV-PCBA-3	Replacement IQ Gateway printed circuit board (PCB) for Combiner 4/4C
X-IQ-NA-HD-125A	Hold down kit for Eaton circuit breaker with screws.

ELECTRICAL SPECIFICATIONS

Rating	Continuous duty
System voltage	120/240 VAC, 60 Hz
Eaton BR series busbar rating	125 A
Max. continuous current rating	65 A
Max. continuous current rating (input from PV/storage)	64 A
Max. fuse/circuit rating (output)	90 A
Branch circuits (solar and/or storage)	Up to four 2-pole Eaton BR series Distributed Generation (DG) breakers only (not included)
Max. total branch circuit breaker rating (input)	80A of distributed generation / 95A with IQ Gateway breaker included
Envy breaker	10A or 15A rating GE/Siemens/Eaton included
Production metering CT	200 A solid core pre-installed and wired to IQ Gateway
Consumption monitoring CT (CT-200-SPLIT)	A pair of 200 A split core current transformers

MECHANICAL DATA

Dimensions (WxHxD)	37.5 x 49.5 x 16.8 cm (14.75" x 19.5" x 6.63"). Height is 21.06" (53.5 cm) with mounting brackets.
Weight	7.5 kg (16.5 lbs)
Ambient temperature range	-40° C to +46° C (-40° to 115° F)
Cooling	Natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Wire sizes	<ul style="list-style-type: none"> • 20 A to 50 A breaker inputs: 14 to 4 AWG copper conductors • 60 A breaker branch input: 4 to 1/0 AWG copper conductors • Main lug combined output: 10 to 2/0 AWG copper conductors • Neutral and ground: 14 to 1/0 copper conductors Always follow local code requirements for conductor sizing.
Altitude	To 2000 meters (6,560 feet)

INTERNET CONNECTION OPTIONS

Integrated Wi-Fi	802.11b/g/n
Cellular	CELLMODEM-M1-06-SP-05, CELLMODEM-M1-06-AT-05 (4G based LTE-M1 cellular modem). Note that an Enphase Mobile Connect cellular modem is required for all Ensemble installations.
Ethernet	Optional, 802.3, Cat5E (or Cat 6) UTP Ethernet cable (not included)

COMPLIANCE

Compliance, IQ Combiner	UL 1741, CAN/CSA C22.2 No. 107.1, 47 CFR, Part 15, Class B, ICES 003 Production metering: ANSI C12.20 accuracy class 0.5 (PV production) Consumption metering: accuracy class 2.5
Compliance, IQ Gateway	UL 60601-1/CANCSA 22.2 No. 61010-1

To learn more about Enphase offerings, visit enphase.com

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Regan George

VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D0020000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME

SPEC SHEETS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-11

Enphase Q Cable and Accessories

The **Enphase Q Cable™** and accessories are part of the sixth generation Enphase IQ System™. These products provide simplicity, reliability, and faster installation times.



Enphase Q Cable

- Two-wire, double-insulated Enphase Q Cable is 50% lighter than the previous generation Enphase cable
- Four-wire (three-phase) option also available
- New cable numbering and plug and play connectors speed up installation and simplify wire management
- Link connectors eliminate cable waste



Field-Wireable Connectors

- Easily connect Q cables on the roof without complex wiring
- Make connections from any open connector and center feed any section of cable within branch limits
- Available in male and female connector types

To learn more about Enphase offerings, visit enphase.com/in



Enphase Q Cable Accessories

Q CABLE SPECIFICATIONS

Voltage rating	600V (connector rating up to 250 V)
Cable temperature rating	90° C wet/dry
UV exposure rating	EN ISO 492-2
Environmental protection rating	IEC 60529 IP67
Compliance	RoHS, OIL RES I, CE, UV resistant
Cable insulator rating	H07BQ-F
Flame rating	IEC 60332-1-2

Q CABLE TYPES / ORDERING OPTIONS

Model Number	Max Nominal Voltage	Ampacity Rating	Connector Spacing	PV Module Orientation	Connector Count per Box
Q-25-10-240 (single-phase)	250 VAC	25 A	1.3 m	Portrait	240
Q-25-17-240 (single-phase)	250 VAC	25 A	2.0 m	Landscape (60-cell)	240
Q-25-20-200 (single-phase)	250 VAC	25 A	2.3 m	Landscape (72-cell)	200
Q-25-10-3P-200 (three-phase)	250 VAC	25 A	1.3 m	Portrait	200
Q-25-17-3P-160 (three-phase)	250 VAC	25 A	2.0 m	Landscape (60-cell)	160
Q-25-20-3P-160 (three-phase)	250 VAC	25 A	2.3 m	Landscape (72-cell)	160

ENPHASE Q CABLE ACCESSORIES

Name	Model Number	Description
Raw Q Cable (single-phase)	Q-25-RAW-300	300 meters cable with no connectors
Raw Q Cable (three-phase)	Q-25-RAW-3P-300	300 meters cable with no connectors
Field-wireable connector (male)	Q-CONN-R-10M	Make connections using single-phase cable
Field-wireable connector (male)	Q-CONN-3P-10M	Make connections using three-phase cable
Field-wireable connector (female)	Q-CONN-R-10F	Make connections from any Q Cable (single-phase) open connector
Field-wireable connector (female)	Q-CONN-3P-10F	Make connections from any Q Cable (three-phase) open connector
Cable Clip	ET-CLIP-100	Used to fasten cabling to the racking or to secure looped cabling
Disconnect tool	Q-DISC-10	Disconnect tool for Q Cable connectors, DC connectors, and AC module mount
Disconnect tool	Q-DISC-3P-10	Disconnect tool for three-phase Field wireable connectors
Q Cable sealing caps (female)	Q-SEAL-10	One needed to cover each unused connector on the cabling
Terminator (single-phase)	Q-TERM-R-10	Terminator cap for unused single-phase cable ends
Terminator (three-phase)	Q-TERM-3P-10	Terminator cap for unused three-phase cable ends
Replacement DC Adaptor (MC4)	Q-DCC-2-INT	DC adaptor to MC4 (max voltage 100 VDC)



TERMINATOR

Terminator cap for unused cable ends, sold in packs of ten (Q-TERM-R-10 / Q-TERM-3P-10)



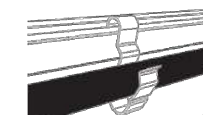
SEALING CAPS

Sealing caps for unused cable connections, sold in packs of ten (Q-SEAL-10)



DISCONNECT TOOL

Plan to use at least one per installation, sold in packs of ten (Q-DISC-10)
 Three-phase model (Q-DISC-3P-10)



CABLE CLIP

Used to fasten cabling to the racking or to secure looped cabling, sold in packs of one hundred (ET-CLIP-100)

To learn more about Enphase offerings, visit enphase.com/in

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Regan George

VERSION

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SHEET NAME

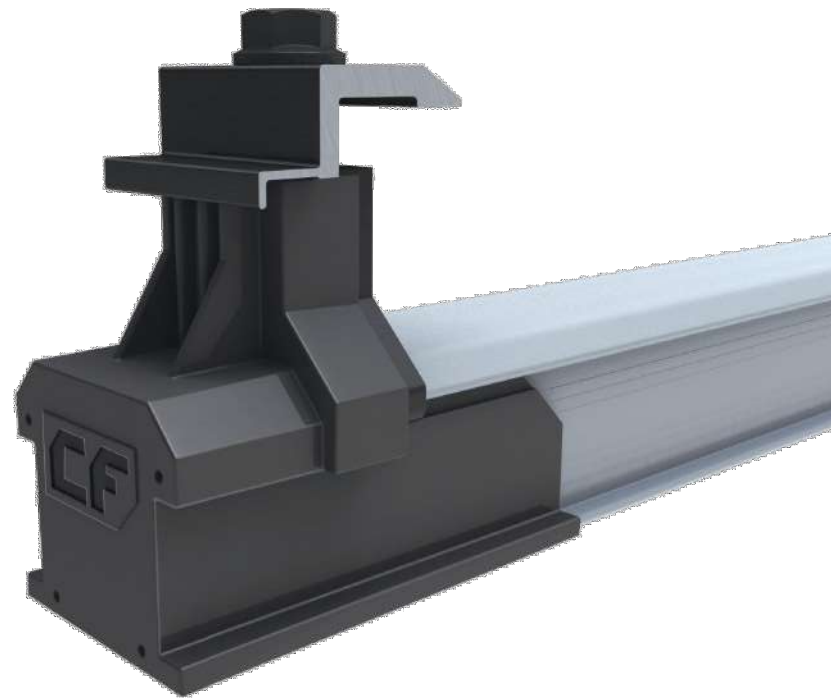
SPEC SHEETS

SHEET SIZE

ANSI B
 11" X 17"

SHEET NUMBER

PV-12



CLICKFIT



INTERNAL SPLICE

Tool-free bonded internal Splice installs in seconds.

MID CLAMP

Click-on mid clamp features integrated bonding pins and fits module frames sized 30-50mm.



CF MLPE MOUNT

Attach Module Level Power Electronics to the top of the rail.



END CLAMP

Click-on end clamp fits module frames sized 30-50mm.



END CAP

The slide-on end caps allow the end clamps to be accurately positioned on the rail in seconds, while providing an aesthetically pleasing, finished install.

RAIL

The ClickFit rail clicks into our proprietary composition shingle & tile L-foot and is tightened in place with a pre-installed bolt.



CLICKFIT

COMPLETE RAIL-BASED RACKING SYSTEM

ClickFit is one of the fastest installing rail-based systems in the industry. Thanks to its Click-In rail assembly, the rails can be connected to any of EcoFasten's composition shingle, tile, and metal roof mounts in seconds without the need for fasteners or tools. The ClickFit system is made of robust materials such as aluminum and coated steel, to ensure corrosion-resistance and longevity. ClickFit conforms to UL 2703 and has been tested in extreme weather conditions including wind, fire, and snow.

FEATURES & BENEFITS

- Pre-installed rail fastening bolt
- Fully integrated bonding
- Click-On Mid & End Clamps
- Compatible with a variety of EcoFasten roof attachments

- ROOF TYPE**
Composition Shingle, Tile, Metal
- RACKING**
Rail-Based
- ATTACHMENT**
Structural-Attach Direct-Attach



ECOFASTENSOLAR.COM

Regan George

VERSION

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CHARLES FISHER
125 LANSHIRE DR,
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APN# 4334000D002000R
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AHJ: CITY OF ROCKWALL

SHEET NAME

SPEC SHEETS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-13

Regan George

COMPOSITION SHINGLE



Combine the versatile ClickFit L-Foot with the watertight GF-1 flashing for a fast installation on composition shingle roofs.



GF-1 FLASHING & L-FOOT

TILE ROOFS



Use the adjustable ClickFit Tile Hook for attaching the ClickFit system to tile roofs. Works with Flat, S, and W tile profiles.

CLICKFIT TILE HOOK



STANDING SEAM METAL ROOFS



Combine the ClickFit L-Foot with SimpleBlock®-U for a fast installation on standing seam metal roofs.



SIMPLEBLOCK-U

VERSION

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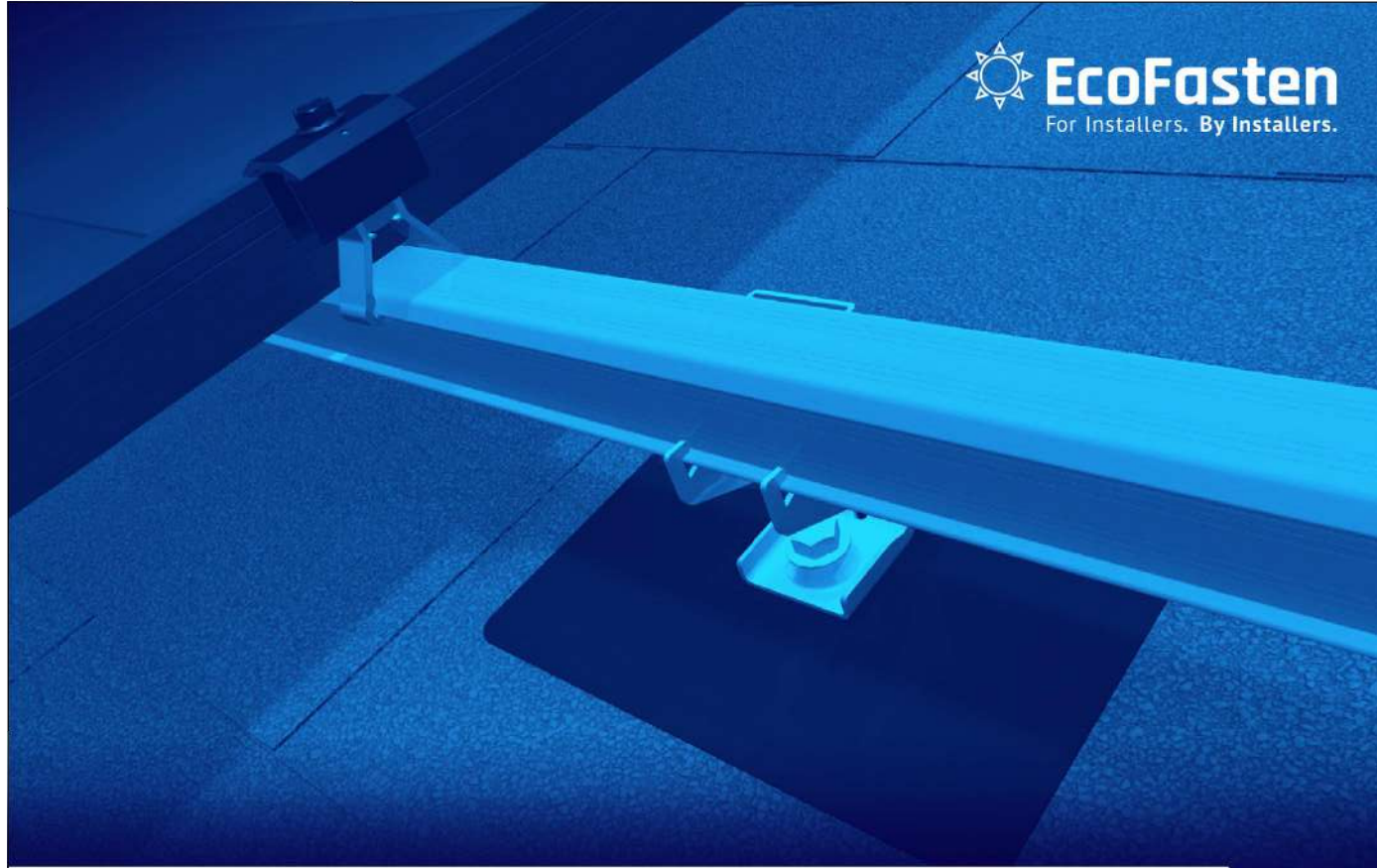
SHEET NUMBER

PV-14

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INSTALLATION GUIDE



COMPLETE RAIL-BASED RACKING SYSTEM

INSTALLATION GUIDE

REVISION DATE: 04/09/21

VERSION: v2.4

MANUFACTURER	LIST OF UL2703 APPROVED MODULES
GCL	GCL modules with 35 mm and 40 mm frames GCL-ab/YY xxx Where "a" can be M or P; "b" can be 3 or 6; and "YY" can be 60, 72, 72H, or 72DH
GigaWatt Solar	Gigawatt modules with 40 mm frames GWxxxYY Where "YY" can be either PB or MB
Hansol	Hansol modules with 35 and 40 frames HSxxxYY-zz Where "YY" can be PB, PD, PE, TB, TD, UB, UD, or UE; and "zz" can be AH2, AN1, AN3, AN4, HH2, HV1, or JH2
Hanwha Solar	Hanwha Solar modules with 40, 45, and 50 mm frames HSLaaP6-YY-1-xxxZ Where "aa" can be either 60 or 72; "YY" can be PA or PB; and "Z" can be blank or B
Hanwha Q CELLS	Hanwha Q CELLS Modules with 32, 35, 40, and 42mm frames aaYY-ZZ-xxx where "aa" can be Q. or B.; "YY" can be PLUS, PRO, PEAK, LINE PRO, LINE PLUS, PLUS DUO or PEAK DUO; and "ZZ" can be G3, G3.1, G4, G4.1, L-G2, L-G2.3, L-G3, L-G3.1, L-G3y, L-G4, L-G4.2, L-G4y, LG4.2/TAA, BFR-G3, BLK-G3, BFR-G3.1, BLK-G3.1, BFR-G4, BFR-G4.1, BFR G4.3, BLK-G4.1, G4/SC, G4.1/SC, G4.1/TAA, G4.1/MAX, BFR G4.1/TAA, BFR G4.1/MAX, BLK G4.1/TAA, BLK G4.1/SC, EC-G4.4, G5, G5/SC, G5/TS, BLK-G5, BLK-G5/SC, BLK-G5/TS, L-G5, L-G5.1, L-G5.2, L-G5.2/H, L-G5.3, G6, G6/SC, G6/TS, G6+, BLK-G6, L-G6, L-G6.1, L-G6.2, L-G6.3, G7, BLK-G6+, BLK-G6+/AC, BLK-G6+/SC, BLK-G6/TS, G6+/TS, BLK-G6+/TS, BLK-G7, G7.2, G8, BLK-G8, G8+, BLK-G8+ L-G7, L-G7.1, L-G7.2, L-G7.3, L-G8, L-G8.1, L-G8.2, L-G8.3, L-G8.3/BFF, ML-G9, BLK ML-G9, ML-G9+, BLK ML-G9+, XL-G9, XL-G9.2 or XL-G9.3
Heliene	Heliene modules with 40 mm frames YYZZxxxA Where "YY" can be 36, 60, 72, or 96; "ZZ" can be M, P, or MBLK; and "A" can be blank, HomePV, or Bifacial
HT-SAAE	HT-SAAE modules with 35 and 40 mm frames HTyy-156Z-xxx Where "yy" can be 60 or 72, "Z" can be M, P, M-C, P-C, M(S), M(VS), M(V), P(V), M(V)-C, P(V)-C

MODULES

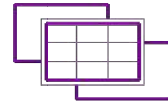
VERSION		
DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME
**CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D002000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL**

SHEET NAME
SPEC SHEETS

SHEET SIZE
**ANSI B
11" X 17"**

SHEET NUMBER
PV-15



Engineering Alliance, Inc

<https://www.eng-alliance.com>

27-June-2022

Unirac
1411 Broadway Blvd. NE
Albuquerque, NM 87101
Tel: 505 242 6411

Attn.: Engineering Department

Subject: Engineering Certification for the Unirac SOLARMOUNT Flush Rail System to Support Photovoltaic Panels.

The Unirac SOLARMOUNT Flush-to-Roof is an extruded aluminum rail system that is engineered to hold most framed solar modules to a roof structure and installed parallel to the roof.

We have reviewed the SOLARMOUNT system, a proprietary mounting system constructed from modular parts which are intended for rooftop installation of solar photovoltaic (PV) panels; and have reviewed the U-Builder 2.0 Online tool. This U-Builder 2.0 software includes analysis for the SOLARMOUNT rails (SM LIGHT rail, SM STANDARD rail, and SM HEAVY DUTY rail) with Standard and Pro Series hardware. All information, data and analysis are in compliance with the following codes, city ordinances, and typical specifications:

- Codes:**
1. ASCE/SEI 7-05, 7-10, 7-16 Minimum Design Loads for Buildings and Other Structures
 2. International Building Code, 2006-2021 Edition w/ Provisions from SEAOC PV-2 2017
 3. International Residential Code, 2006- 2021 Edition w/ Provisions from SEAOC PV-2 2017
 4. AC428, Acceptance Criteria for Modular Framing Systems Used to Support Photovoltaic (PV) Panels, November 1, 2012 by ICC-ES
 5. Aluminum Design Manual, 2015 & 2020 Edition

Following are typical specifications to meet the above code requirements:

Design Criteria:

- Ground Snow Load = 0 - 100 (psf)
- Basic Wind Speed = 85 - 190 (mph)
- Roof Mean Height = 0 - 60 (ft)
- Roof Pitch = 0 - 45 (degrees)
- Exposure Category = B, C & D

For Houston, TX:

- Basic Wind Speed ASD Minimum 110 mph to 147 mph (3-sec gust ASCE 7-05 for IRC)
- Basic Wind Speed LRFD Minimum 142 mph to 190 mph (Vult ASCE 7-10 for IBC)

Attachment Spacing: Per U-Builder 2.0 Engineering report.

Cantilever: The maximum cantilever length is L/3, where "L" is the span noted in the U-Builder 2.0 online Tool.

Clearance: 2" to 10" clear from top of roof to top of PV panel

Tolerance(s): 1.0" tolerance for any specified dimension in this report is allowed for installation

Installation Orientation: See SOLARMOUNT Rail Flush Installation Guide.

4603 April Meadow Way, Sugar Land, TX 77479. Ph: 832 865 4757



SOLNOVA
2407 EAST LOOP 820 N, FORT
WORTH, TX 76118
LICENSE NO.#: 35151

Regan George

VERSION

DESCRIPTION	DATE	REV
INITIAL RELEASE	08-29-2022	UR

PROJECT NAME

CHARLES FISHER
125 LANSHIRE DR,
ROCKWALL, TX 75032 USA
APN# 4334000D002000R
UTILITY: ONCOR
AHJ: CITY OF ROCKWALL

SHEET NAME

SPEC SHEETS

SHEET SIZE

ANSI B
11" X 17"

SHEET NUMBER

PV-16

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW SOLAR PANELS ON A 0.1947-ACRE PARCEL OF LAND IDENTIFIED AS LOT 20, BLOCK D, LYNDEN PARK ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Tony Trammel for the approval of a *Specific Use Permit (SUP)* for *Solar Panels Exceeding 1,000 SF of Coverage on a Residential Home* situated on a 0.1947-acre parcel of land identified as Lot 20, Block D, Lynden Park Estates Subdivision, Phase 3, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 17 (PD-17) for Single Family 7 (SF-7) District land uses, addressed as 125 Lanshire Drive and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allow for *Solar Panels Exceeding 1,000 SF of Coverage on a Residential Home* within Planned Development District 17 (PD-17) as stipulated by Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03(K)(7) of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and as may be amended in the future* --,

and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Solar Panels* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) 57 solar panels covering a maximum of 1,150 SF shall be permitted to be attached to the roof as shown on the roof plan elevations depicted in *Exhibit 'B'*.
- (2) All mechanical equipment (e.g. *micro inverters*) and batteries shall be completely screened from the adjacent properties and rights-of-way.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the property owner subject to these guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF NOVEMBER, 2022.

Kevin Fowler, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: October 17, 2022

2nd Reading: November 7, 2022

Exhibit 'A'
Zoning Exhibit

Address: 125 Lanshire

Legal Description: Lot 20, Block D, Lynden Park Estates

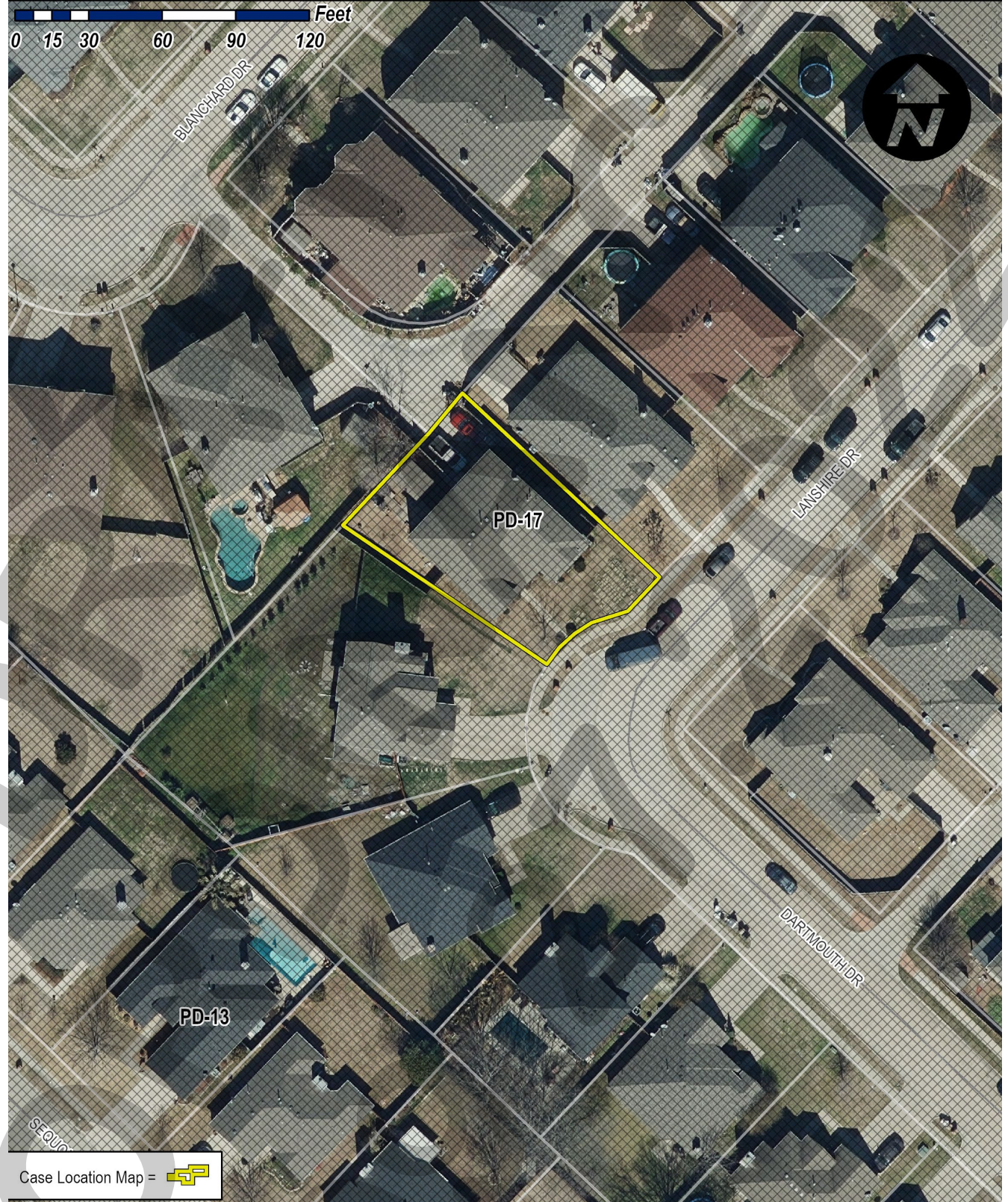
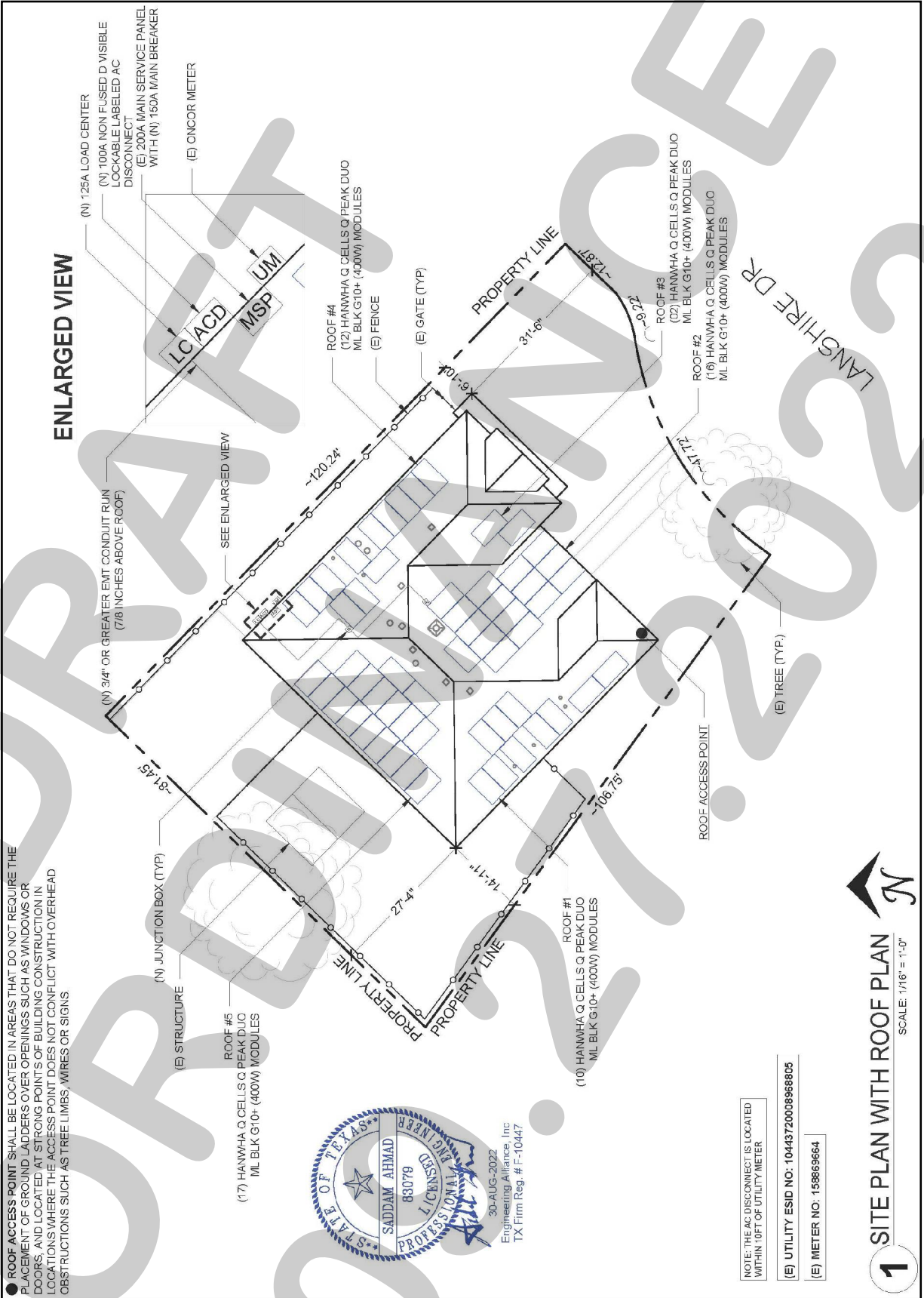


Exhibit 'B'
Roof Plan Elevations



● ROOF ACCESS POINT SHALL BE LOCATED IN AREAS THAT DO NOT REQUIRE THE PLACEMENT OF GROUND LADDERS OVER OPENINGS SUCH AS WINDOWS OR DOORS AND LOCATED AT STRONG POINTS OF BUILDING CONSTRUCTION IN LOCATIONS WHERE THE ACCESS POINT DOES NOT CONFLICT WITH OVERHEAD OBSTRUCTIONS SUCH AS TREE LIMBS, WIRES OR SIGNS



NOTE: THE AC DISCONNECT IS LOCATED WITHIN 1'0FT OF UTILITY METER

(E) UTILITY ESID NO: 1044372000968605

(E) METER NO: 158869664

1 SITE PLAN WITH ROOF PLAN
SCALE: 1/16" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: September 27, 2022
SUBJECT: Z2022-046; *Amendment to Article 04, Permissible Uses, of the UDC*

On September 19, 2022, the City Council directed staff to make minor changes to Article 04, *Permissible Uses*, of the Unified Development Code (UDC) to correct a procedural requirement associated with the *Conditional Land Use Standards* for the *Mini-Warehouse* land use. Specifically, the *Conditional Land Use Standards* state, "(o)nly single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission and City Council." Staff has changed this to only require approval by the Planning and Zoning Commission as this is a technical requirement. In addition, the *Conditional Land Use Standards* also state, "(n)o direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard. The City Council may consider granting direct access from the above-mentioned roadways after review and determination of the availability to the specific property." This has also been changed to be an approval of the Planning and Zoning Commission. Staff should note that in 2019 the City Council directed staff to remove the City Council as the approving body for variances and exceptions relating to the technical standards associated with site plans. This was done in favor of allow the Planning and Zoning Commission to be the approving body with the City Council acting as an appeals board. These two (2) references were overlooked when staff made the changes to the Unified Development Code (UDC) under *Case No. Z2019-016*.

In addition, staff has identified a conflict between Subsection 04.02, *Dumping, Excavating or Filling Floodplain*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and the *Engineering Standards of Design and Construction*. Specifically, Subsection 04.02 states:

Any dump, excavation, storage or filling operation within that portion of a district having a floodplain designation shall require a permit, which must be approved by the City Council, before such operation has is begun. However, if those operations in the floodplain were specifically approved as part of a site plan approval by the City Council, then a permit may be issued by the City Engineer.

Staff is proposing to reword this section as follows:

Any dumping, excavation, storage or filling operation on any property within any district having a floodplain designation or that is within a creek or drain way shall require a permit from the City Engineer prior to the commencement of such activity.

If the changes to Subsection 04.02 are approved, this would bring the two (2) documents (*i.e. the Engineering Standards of Design and Construction Manual and the UDC*) into agreement.

A redlined copy of the proposed changes along with a draft ordinance has been provided in the attached packet. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: September 27, 2022
Planning and Zoning Commission Public Hearing: October 11, 2022
City Council Public Hearing/First Reading: October 17, 2022
City Council Second Reading: November 7, 2022

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on September 27, 2022.



is approved by the Planning and Zoning Commission ~~and City Council~~. If necessary, the office/caretaker residence-unit may exceed one (1) story, but shall not be greater than 36-feet in height.

- (c) A minimum of two (2) parking spaces shall be required for the on-site manager (*i.e. caretaker, resident or otherwise*).
- (d) No direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard. The ~~City Council~~ **Planning and Zoning Commission** may consider granting direct access from the above-mentioned roadways after review and determination of the availability of access to the specific property.
- (e) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line.
- (f) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings.
- (g) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required.
- (h) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in [Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards](#). See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited.
- (i) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall compliment the exterior colors of the main building(s).
- (j) The commercial operation of rental trucks and trailers shall be prohibited.
- (k) Businesses shall not be allowed to operate in the individual storage units.
- (l) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).
- (m) Concrete shall be used for all paving.
- (n) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical

equipment shall be screened with the roof structure or parapet walls.

- (o) Lighting standards shall be limited to a maximum of 20-feet in height.
 - (p) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF.
- (2) Outside Storage and/or Outside Display.
- (a) Outside Storage and/or Outside Display shall adhere to the requirements of [Subsection 01.05, Screening Standards, of Article 05, District Development Standards](#).
 - (b) No outside storage shall be allowed in any zoning district adjacent to IH-30. However, on property that is zoned Light Industrial (LI) District and adjacent to IH-30, a Specific Use Permit (SUP) may be considered on a case-by-case basis to allow for Outside Storage and/or Outside Display in conjunction with a use that is permitted under [Land Use Schedule](#). A Specific Use Permit (SUP) approved for this use may be subject to time limitations, site/landscaping or building enhancements, or other restrictions deemed appropriate by the Planning and Zoning Commission and City Council.
 - (c) Incidental Display, as defined in [Subsection 02.02\(F\)\(4\)](#), shall not be considered Outside Storage and/or Outside Display, and shall be subject to the requirements of [Subsection 02.02\(F\)\(4\)](#).
- (K) Utilities, Communications and Transportation Land Uses
- (1) Antenna as an Accessory.
- (a) The antenna installation shall comply with the height and area regulations of the applicable zoning district.
 - (b) Administrative approval of the antenna installation shall be required.
 - (c) The antenna will meet all applicable requirements of [Subsection 03.06, Antennas](#).
- (2) Commercial Antenna.
- (a) Located entirely within a non-residential structure as allowed under the applicable zoning district regulations:
 - (1) Any necessary equipment building shall be of a material allowed by the applicable zoning district, similar in color and character to the principal building on the site; or the necessary equipment shall be contained entirely within the principal building on the property or in an underground vault.
 - (2) Any necessary equipment building shall be enclosed by a decorative iron fence surrounded by a screening hedge which will achieve a height of at least six (6) feet at maturity or a masonry screening wall at least eight (8) feet in height, compatible in color with the principal building and the equipment building.
 - (3) At least one (1) paved parking space with paved access thereto shall be provided at the antenna location; said parking space need not be reserved exclusively for use in conjunction with the antenna



SUBSECTION 03.06: ANTENNAS

- (A) Construction and Maintenance Requirements. All antenna masts, towers and antenna supports used for television and radio reception or transmission shall be constructed and maintained in accordance with the current National Electrical Code and the Building Code of the City.
- (B) Permit Required. Any person desiring to erect or have erected an antenna more than 25-feet in height above ground level, or an antenna mast 25-feet or less in height but not erected as required by this section, shall make written application to the building inspection department for a permit to erect same. Sufficient plans and specifications, as determined by the Chief Building Official, must accompany each application. It shall be unlawful and a violation of this division to erect, or cause to be erected, or to maintain, or cause to maintain, such antenna mast without first having obtained a permit. It shall be the duty of the permittee to request a final inspection upon completion of the antenna system. Domestic TV antennas are exempt from this section.
- (C) Restrictions and Limitations. All antenna systems constructed and maintained under the provisions of this section shall be subject to the following restrictions and limitations:
 - (1) No such antenna system shall be more than 99-feet in height.
 - (2) The location on the lot of such antenna system shall comply with the requirements of this Unified Development Code insofar as the front building line and side yard building line and requirements are concerned. No portion of an antenna system shall extend beyond the front building line on any lot, and on corner lots the side yard setback requirements shall be adhered to on the side adjacent to a public street, and where the front and side yard requirements are applicable, all portions of such structures shall be within the limits fixed by such requirements.
 - (3) All antenna systems constructed under the provisions of this section shall be maintained so as to at all times comply with the requirements of this section.
 - (4) The regulations contained herein shall not apply to the extent that they have been preempted by specific regulations of the FCC to the contrary.
- (D) Roof-Mounted Equipment. All roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, should be screened to eliminate the view from the ground level of adjacent properties. The screen shall be constructed of materials approved by the Director of Planning and Zoning. Roof-mounted equipment should be placed and finished in a manner which minimizes its visibility from overhead views from nearby buildings and elevated thoroughfare sections.
 - (1) The overall screening height will be the height of the tallest element of roof-mounted equipment.
 - (2) The outside of the screening device should be painted or finished in a similar color to the building facade, trim or roof surface to minimize the visibility of the equipment and screen the view from ground level.

- (3) Roof-mounted equipment and the inside of the screening device should be painted similar to the color of the roof surface in order to minimize the visibility of the equipment and screening device from overhead views.

SECTION 04 | FLOODPLAIN AREAS

SUBSECTION 04.01: PERMITTED USES

The following uses shall be permitted within that portion of a district which is designated as being within a floodplain by the City Engineer, provided they are allowed in the underlying zoning, and that they meet any additional requirements established in the city's floodplain regulations in [Chapter 20, Floods, of the Municipal Code of Ordinances](#):

- (A) Agriculture. Agricultural activities including the ordinary cultivation of land or legal forms of animal husbandry.
- (B) Utilities. Local utilities.
- (C) Parks and Recreation. Public or private parks, community centers, playgrounds, public golf courses.
- (D) Private Recreation. Private commercial open area amusements such as golf courses, driving ranges, archery courses and similar uses when approved by a specific use permit.
- (E) Private Open Space. Private open spaces as part of a Planned Development (PD) District, provided such use does not interfere with the continuity of the city's open space system.

SUBSECTION 04.02: DUMPING, EXCAVATING OR FILLING FLOODPLAIN

Any dumping, excavation, storage or filling operation ~~within that portion of aon any property within any~~ district having a floodplain designation or that is within a creek or drain way shall require a permit ~~from the ,which must be approved by the City Council~~ City Engineer prior to the commencement of such activity, ~~before such operation is begun. However, if those operations in the floodplain were specifically approved as part of a site plan approval by the City Council, then a permit may be issued by the City Engineer.~~

SUBSECTION 04.03: LOCAL FLOODING MAY OCCUR IN OTHER AREAS

The fact that land or property is or is not within a district having a floodplain designation shall not constitute assurance that such land or property is not subject to local flooding and the designation of floodplain in this Unified Development Code (UDC) shall not be so interpreted.

SECTION 05 | TEMPORARY USES AND STRUCTURES

SUBSECTION 05.01: TEMPORARY USES

- (A) This subsection includes by reference all temporary uses listed in the land use chart.
- (B) The temporary use shall not be intrusive or inconsistent with existing land uses in area, or with anticipated land uses that may be constructed during the life of the temporary use.

SUBSECTION 05.02: TEMPORARY USES

CITY OF ROCKWALL

ORDINANCE NO. 22-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 04, *PERMISSIBLE USES*, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF NOVEMBER, 2022.

Kevin Fowler, Mayor

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: October 17, 2022

2nd Reading: November 7, 2022

DRAFT
ORDINANCE
09.27.2022

Exhibit 'A'
Article 04, Permissible Uses, of the
Unified Development Code (UDC)

See Next Page ...



is approved by the Planning and Zoning Commission ~~and City Council~~. If necessary, the office/caretaker residence-unit may exceed one (1) story, but shall not be greater than 36-feet in height.

- (c) A minimum of two (2) parking spaces shall be required for the on-site manager (*i.e. caretaker, resident or otherwise*).
- (d) No direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard. The ~~City Council~~ **Planning and Zoning Commission** may consider granting direct access from the above-mentioned roadways after review and determination of the availability of access to the specific property.
- (e) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line.
- (f) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings.
- (g) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required.
- (h) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in [Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards](#). See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited.
- (i) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall compliment the exterior colors of the main building(s).
- (j) The commercial operation of rental trucks and trailers shall be prohibited.
- (k) Businesses shall not be allowed to operate in the individual storage units.
- (l) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).
- (m) Concrete shall be used for all paving.
- (n) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical

equipment shall be screened with the roof structure or parapet walls.

- (o) Lighting standards shall be limited to a maximum of 20-feet in height.
 - (p) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF.
- (2) Outside Storage and/or Outside Display.
- (a) Outside Storage and/or Outside Display shall adhere to the requirements of [Subsection 01.05, Screening Standards, of Article 05, District Development Standards](#).
 - (b) No outside storage shall be allowed in any zoning district adjacent to IH-30. However, on property that is zoned Light Industrial (LI) District and adjacent to IH-30, a Specific Use Permit (SUP) may be considered on a case-by-case basis to allow for Outside Storage and/or Outside Display in conjunction with a use that is permitted under [Land Use Schedule](#). A Specific Use Permit (SUP) approved for this use may be subject to time limitations, site/landscaping or building enhancements, or other restrictions deemed appropriate by the Planning and Zoning Commission and City Council.
 - (c) Incidental Display, as defined in [Subsection 02.02\(F\)\(4\)](#), shall not be considered Outside Storage and/or Outside Display, and shall be subject to the requirements of [Subsection 02.02\(F\)\(4\)](#).
- (K) Utilities, Communications and Transportation Land Uses
- (1) Antenna as an Accessory.
- (a) The antenna installation shall comply with the height and area regulations of the applicable zoning district.
 - (b) Administrative approval of the antenna installation shall be required.
 - (c) The antenna will meet all applicable requirements of [Subsection 03.06, Antennas](#).
- (2) Commercial Antenna.
- (a) Located entirely within a non-residential structure as allowed under the applicable zoning district regulations:
 - (1) Any necessary equipment building shall be of a material allowed by the applicable zoning district, similar in color and character to the principal building on the site; or the necessary equipment shall be contained entirely within the principal building on the property or in an underground vault.
 - (2) Any necessary equipment building shall be enclosed by a decorative iron fence surrounded by a screening hedge which will achieve a height of at least six (6) feet at maturity or a masonry screening wall at least eight (8) feet in height, compatible in color with the principal building and the equipment building.
 - (3) At least one (1) paved parking space with paved access thereto shall be provided at the antenna location; said parking space need not be reserved exclusively for use in conjunction with the antenna



SUBSECTION 03.06: ANTENNAS

- (A) Construction and Maintenance Requirements. All antenna masts, towers and antenna supports used for television and radio reception or transmission shall be constructed and maintained in accordance with the current National Electrical Code and the Building Code of the City.
- (B) Permit Required. Any person desiring to erect or have erected an antenna more than 25-feet in height above ground level, or an antenna mast 25-feet or less in height but not erected as required by this section, shall make written application to the building inspection department for a permit to erect same. Sufficient plans and specifications, as determined by the Chief Building Official, must accompany each application. It shall be unlawful and a violation of this division to erect, or cause to be erected, or to maintain, or cause to maintain, such antenna mast without first having obtained a permit. It shall be the duty of the permittee to request a final inspection upon completion of the antenna system. Domestic TV antennas are exempt from this section.
- (C) Restrictions and Limitations. All antenna systems constructed and maintained under the provisions of this section shall be subject to the following restrictions and limitations:
 - (1) No such antenna system shall be more than 99-feet in height.
 - (2) The location on the lot of such antenna system shall comply with the requirements of this Unified Development Code insofar as the front building line and side yard building line and requirements are concerned. No portion of an antenna system shall extend beyond the front building line on any lot, and on corner lots the side yard setback requirements shall be adhered to on the side adjacent to a public street, and where the front and side yard requirements are applicable, all portions of such structures shall be within the limits fixed by such requirements.
 - (3) All antenna systems constructed under the provisions of this section shall be maintained so as to at all times comply with the requirements of this section.
 - (4) The regulations contained herein shall not apply to the extent that they have been preempted by specific regulations of the FCC to the contrary.
- (D) Roof-Mounted Equipment. All roof-mounted equipment, including fans, vents, air conditioning units and cooling towers, should be screened to eliminate the view from the ground level of adjacent properties. The screen shall be constructed of materials approved by the Director of Planning and Zoning. Roof-mounted equipment should be placed and finished in a manner which minimizes its visibility from overhead views from nearby buildings and elevated thoroughfare sections.
 - (1) The overall screening height will be the height of the tallest element of roof-mounted equipment.
 - (2) The outside of the screening device should be painted or finished in a similar color to the building facade, trim or roof surface to minimize the visibility of the equipment and screen the view from ground level.

- (3) Roof-mounted equipment and the inside of the screening device should be painted similar to the color of the roof surface in order to minimize the visibility of the equipment and screening device from overhead views.

SECTION 04 | FLOODPLAIN AREAS

SUBSECTION 04.01: PERMITTED USES

The following uses shall be permitted within that portion of a district which is designated as being within a floodplain by the City Engineer, provided they are allowed in the underlying zoning, and that they meet any additional requirements established in the city's floodplain regulations in [Chapter 20, Floods, of the Municipal Code of Ordinances](#):

- (A) Agriculture. Agricultural activities including the ordinary cultivation of land or legal forms of animal husbandry.
- (B) Utilities. Local utilities.
- (C) Parks and Recreation. Public or private parks, community centers, playgrounds, public golf courses.
- (D) Private Recreation. Private commercial open area amusements such as golf courses, driving ranges, archery courses and similar uses when approved by a specific use permit.
- (E) Private Open Space. Private open spaces as part of a Planned Development (PD) District, provided such use does not interfere with the continuity of the city's open space system.

SUBSECTION 04.02: DUMPING, EXCAVATING OR FILLING FLOODPLAIN

Any dumping, excavation, storage or filling operation ~~within that portion of aon any property within any~~ district having a floodplain designation or that is within a creek or drain way shall require a permit ~~from the ,which must be approved by the City Council~~ City Engineer prior to the commencement of such activity, ~~before such operation is begun. However, if those operations in the floodplain were specifically approved as part of a site plan approval by the City Council, then a permit may be issued by the City Engineer.~~

SUBSECTION 04.03: LOCAL FLOODING MAY OCCUR IN OTHER AREAS

The fact that land or property is or is not within a district having a floodplain designation shall not constitute assurance that such land or property is not subject to local flooding and the designation of floodplain in this Unified Development Code (UDC) shall not be so interpreted.

SECTION 05 | TEMPORARY USES AND STRUCTURES

SUBSECTION 05.01: TEMPORARY USES

- (A) This subsection includes by reference all temporary uses listed in the land use chart.
- (B) The temporary use shall not be intrusive or inconsistent with existing land uses in area, or with anticipated land uses that may be constructed during the life of the temporary use.

SUBSECTION 05.02: TEMPORARY USES

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: P2022-046
PROJECT NAME: Final Plat for Alexander Addition
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Robert Alexander for the approval of a Final Plat for Lots 1 & 2, Block A, Alexander Addition being a 5.0095-acre tract of land identified as Tract 39-01 of the McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 2320 S. Munson Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/22/2022	Needs Review

09/22/2022: P2022-046: Final Plat for Lots 1, & 2, Alexander Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1 & 2, Block A, Alexander Addition being a 5.0095-acre tract of land identified as Tract 39-01 of the McFadgin Survey, Abstract No. 142, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 2320 S. Munson Road, and take any action necessary.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (P2022-046) in the lower right-hand corner of all pages on future submittals.

M.4 This will go forward as a Final Plat. Remove disclaimer "Preliminary – this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document." Please correct the Title Block to the following:

Final Plat
Alexander Addition
Lots 1, & 2, Block A
Being 5.0095 Acres 218,213.82 SF
2 Lots
Situated in the Samuel McFadgin Survey, Abstract No. 142
City of Rockwall E.T.J., Rockwall County, Texas

M.5 Provide a legal description (metes and bounds description/field notes) for the property on a separate page of the plat.

M.6 The building setback for Lot 1 is 50-feet adjacent to FM-548. Please indicate.

M.7 The building setback for Lot 2 is 50-feet adjacent to FM-548 and S. Munson Road. Please indicate.

M.8 The right-of-way for Poetry Road/FM-548 is 60-feet. Please indicate by cross hatching the dedication.

M.9 The right-of-way for Munson Road is 60-feet. Please indicate by cross hatching the dedication.

M.10 Label all existing and proposed easements.

M.11 Indicate the locations of all existing and proposed utilities. Include size and type of each.

M.12 Provide Standard Plat wording listed in the Development Application packet.

M.13 Provide General Notes listed in the Development Application packet.

M.14 Provide Owners signature block listed in the Development Application packet.

M.15 Provide Surveyors Certificate seal and signature block listed in the Development Application Packet.

M.16 Provide the Rockwall County Judge signature block.

M.17 Provide the appropriate statement indicating that no building permits will be issued until all public improvements are accepted by the City as provided in the application packet.

M.18 Please review and correct all items listed by the Engineering Department.

I.19 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Work Session Meeting for this case will be held on September 27, 2022. The Planning and Zoning Commission Meeting for this case will be held on October 11, 2022.

I.20 The projected City Council Meeting date for this case will be October 17, 2022.

I.21 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

1.22 Final plats and replats must be filed with the County Clerk within 180 days of the City Council approval date or the plat will be considered void. If the plat is voided, it must be re-approved by the Planning & Zoning Commission and City Council. All plats will be filed with Rockwall County by City of Rockwall staff; however, the applicant is responsible for providing City staff with the appropriate plat information necessary to file the plat with the County Clerk. This includes a minimum of one (1) signed mylar sets (18" x 24") with current Tax Certificates and a check for the filing fees made payable to the Rockwall County Clerk.

Tax Certificates can be obtained from the Rockwall County
Appraisal District located at 841 Justin Road, Rockwall, Texas 75087.

FILING FEES:

Mylars: \$50.00 per page for the 1st set only (No charge for additional sets).

Tax Certificates: \$30.00 for the 1st certificate and \$4.00 for each additional certificate.

Per Rockwall County:

*Please note if submitting mylars between September 1st through December 31st, tax receipts must also be filed with the plat. The filing of the tax receipt will incur a filing fee

of \$4.00 per tax receipt, made payable to the Rockwall County Clerk.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: - Label linework.

- Label ROW width.

- Rockwall County Master Thoroughfare plan calls for Poetry Road and S. Munson Road to be a 60'-80'. Ultimate ROW. Half of the ultimate width must be dedicated from the center of the roadway.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved w/ Comments

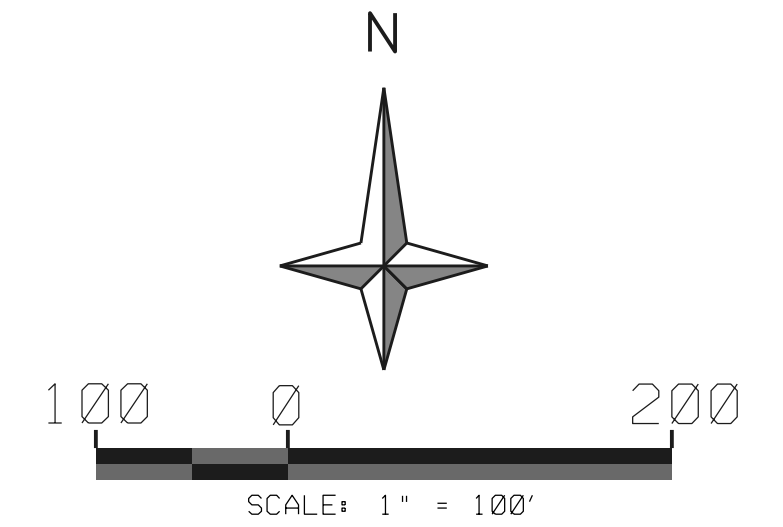
09/19/2022: Contact Jim Knickerbocker, Rockwall County 911 Rural Addressing Coordinator at 972.204.7683 for new addressing.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved

No Comments



LEGEND

- Monument Found
- 1/2" Set Iron Rod (W/Red PJB SURVEYING Cap) Unless otherwise noted
- FIR Found Iron Rod
- FIRC Found Iron Rod with Cap
- FIP Found Iron Pipe
- (C.M.) Controlling Monument
- FND Found
- O.P.R.R.C.T. Official Public Records of Rockwall County Texas
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- - - - - Abstract Line
- Boundary Line
- Lot Line
- - - - - Center Line
- - - - - Easement Line

LINE TABLE

NO.	BEARING	DISTANCE
L1	N43°31'47"E	40.00'

- General Notes:*
- Bearings are referenced to the State Plane Coordinate System, Zone 4202, NAD 83.
 - Subject property lies in Zone "X", unshaded, an area(s) determined to be outside the 0.2% annual chance floodplain, as depicted on FEMA FIRM Panel Number 48397C0065L, dated September 26, 2008.
 - There are no proposed building improvements with this plat.
 - Water source shall be provided by Blackland Water Supply Corporation.
 - Sewage disposal shall be by use of on-site septic systems.
 - Total of two (2) lots to be created by this plat.

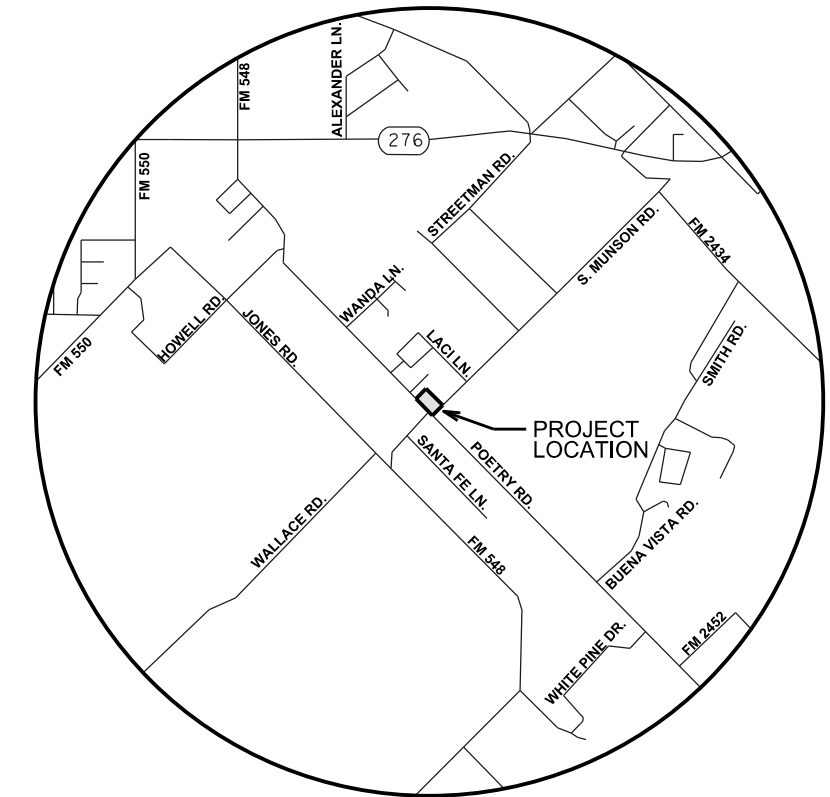
Reviewed for preliminary Approval: _____ Date _____
 Planning & Zoning Commission Chairman

I hereby certify that the above and forgoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, of the _____ of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval

 Mayor, City of Rockwall City Secretary City Engineer

Rockwall County Master Thoroughfare plan calls for Poetry Road and S. Munson Road to be a 60'-80'. Ultimate ROW. Half of the ultimate width must be dedicated from the center of the roadway.



VICINITY MAP
NOT TO SCALE

PRELIMINARY PLAT
 OF
ALEXANDER ADDITION

LOTS 1 AND 2, BLOCK A, BEING 5.0095 ACRES
 SITUATED IN THE
 SAMUEL MCFADGIN SURVEY, ABSTRACT NO. 142
 IN THE
 ROCKWALL E.T.J.
 ROCKWALL COUNTY, TEXAS

SURVEYOR
PJB SURVEYING, LLC
 TBPLS NO. 10194303
 200 W. BELMONT, SUITE D
 ALLEN, TEXAS 75013
 972-649-6669

OWNER/SUBDIVIDER
ROBERT LEE ALEXANDER
 5222 DURAN DR.
 ROYSE CITY, TX 75189



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2022-046

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2320 S. MUNSON ROYSE CITY TX 75189

SUBDIVISION S. McFADGIN Tract 39-01 5 acres BLOCK

GENERAL LOCATION Corner of Poetry Rd & Munson

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING residential A-2

CURRENT USE 5 acres with 2 trailers

PROPOSED ZONING residential A-2

PROPOSED USE 3 acres with 1 trailer

ACREAGE 5 acres LOTS [CURRENT]

LOTS [PROPOSED] 3 acres

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Robert Alexander

APPLICANT Robert Alexander

CONTACT PERSON Robert or Jeanne Alexander

CONTACT PERSON Robert Alexander

ADDRESS 5222 Duran Dr

ADDRESS 5222 Duran Dr

CITY, STATE & ZIP Royse City TX 75189

CITY, STATE & ZIP Royse City TX 75189

PHONE 214-784-5522

PHONE 214-784-5522

E-MAIL homers1@live.com

E-MAIL homers1@live.com

NOTARY VERIFICATION [REQUIRED]

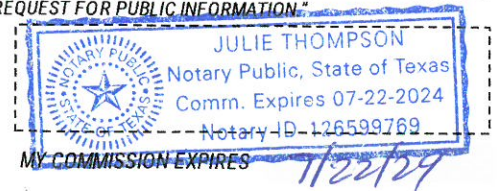
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Robert Alexander [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

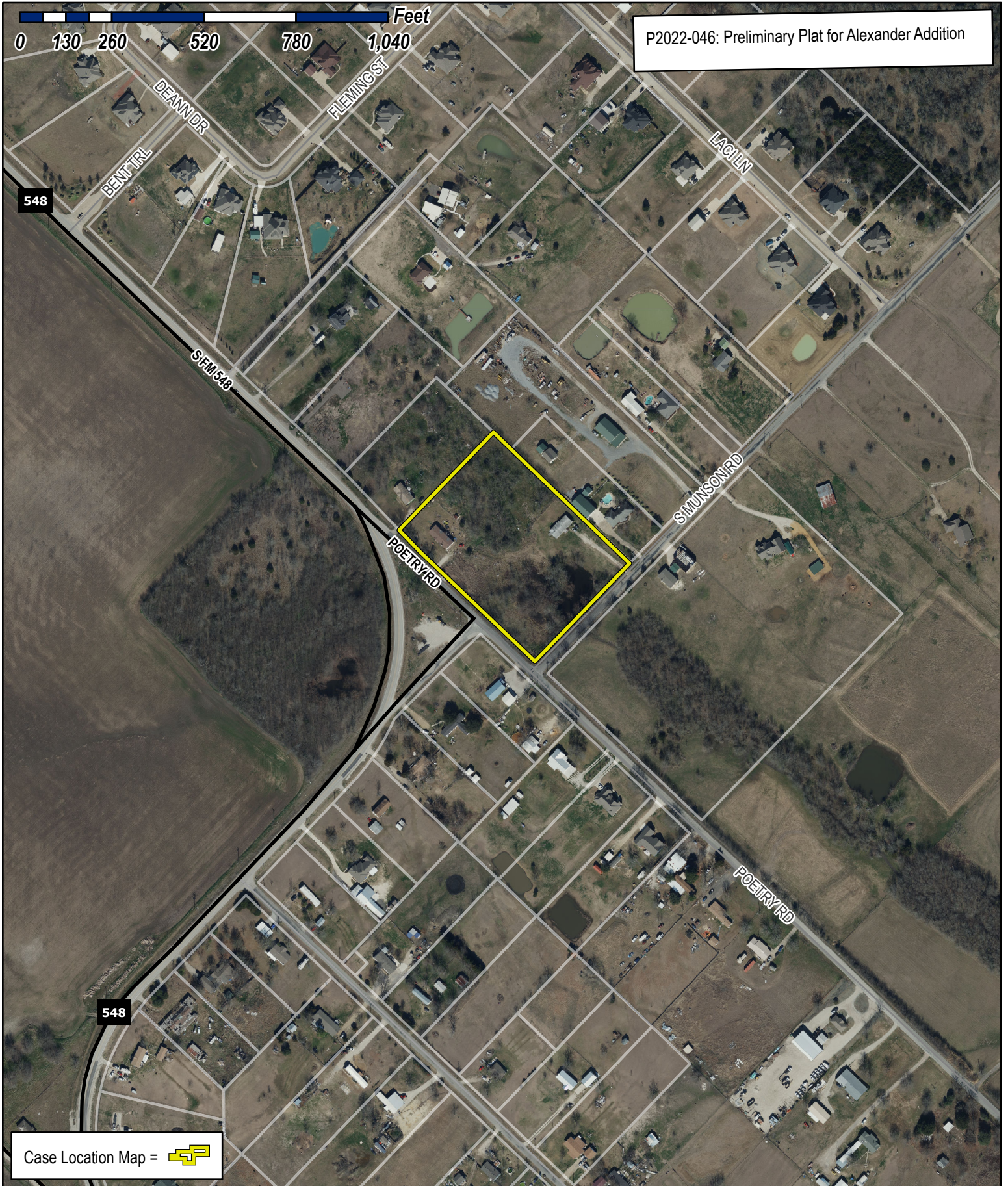
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF SEP, 2022

OWNER'S SIGNATURE Robert Alexander

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Julie Thompson





P2022-046: Preliminary Plat for Alexander Addition

Case Location Map =

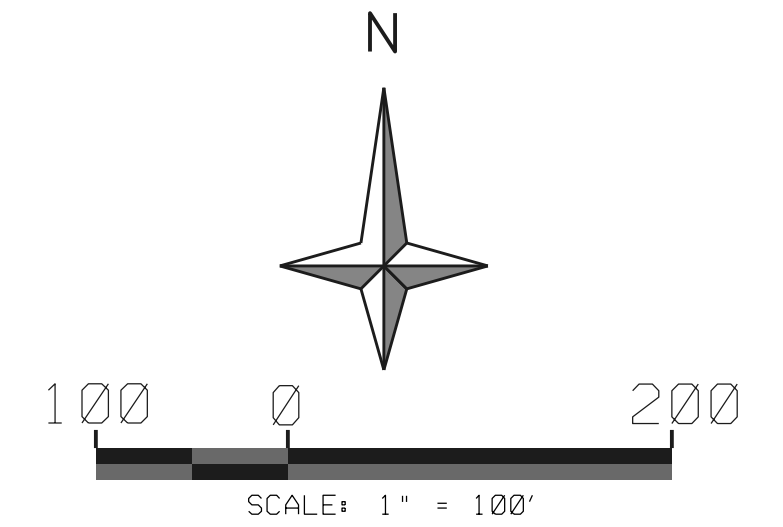


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

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 3. There are no proposed building improvements with this plat.
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 5. Sewage disposal shall be by use of on-site septic systems.
 6. Total of two (2) lots to be created by this plat.

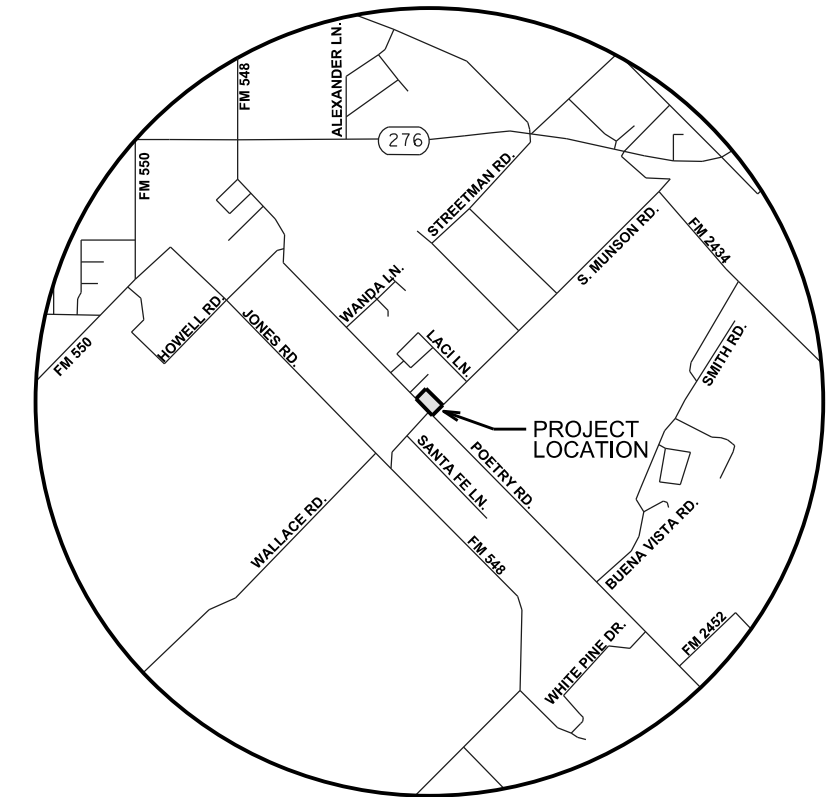
PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Reviewed for preliminary Approval: _____ Date _____
 Planning & Zoning Commission Chairman

I hereby certify that the above and forgoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, of the _____ of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval

 Mayor, City of Rockwall City Secretary City Engineer



VICINITY MAP
NOT TO SCALE

**PRELIMINARY PLAT
OF
ALEXANDER ADDITION**

LOTS 1 AND 2, BLOCK A, BEING 5.0095 ACRES
 SITUATED IN THE
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SURVEYOR
PJB SURVEYING, LLC
 TBPLS NO. 10194303
 200 W. BELMONT, SUITE D
 ALLEN, TEXAS 75013
 972-649-6669

OWNER/SUBDIVIDER
ROBERT LEE ALEXANDER
 5222 DURAN DR.
 ROYSE CITY, TX 75189

<* 12 Describe Parcel BOUNDARY

Parcel BOUNDARY : 818 816 815 817 819 820 CUR C820-821 821 822 823 824
CUR C824-825 825 818

Total parent tract area = 3,734,209.2874 ft² = 85.7256 a
Total taken area = 0.0000 ft² = 0.0000 a
Remaining area = 3,734,209.2874 ft² = 85.7256 a

Description of parcel: BOUNDARY

Beginning parent tract description

=====

Point 818 N 7,037,865.1482 E 2,598,713.9275 Sta
0+00.00

Course from 818 to 816 S 1° 29' 44.00" E Dist 1,722.6742

Point 816 N 7,036,143.0608 E 2,598,758.8882 Sta
17+22.67

Course from 816 to 815 S 88° 45' 14.62" W Dist 1,835.9946

Point 815 N 7,036,103.1389 E 2,596,923.3277 Sta
35+58.67

Course from 815 to 817 N 0° 35' 15.01" W Dist 2,079.1827

Point 817 N 7,038,182.2123 E 2,596,902.0084 Sta
56+37.85

Course from 817 to 819 N 89° 38' 07.66" E Dist 29.7786

Point 819 N 7,038,182.4017 E 2,596,931.7864 Sta
56+67.63

Course from 819 to 820 N 0° 21' 45.00" W Dist 136.7900

Point 820 N 7,038,319.1890 E 2,596,930.9210 Sta
58+04.42

Data Curve

Curve C820-
821

P.I. Station 59+14.96 N 7,038,429.7223 E
2,596,930.2217

Delta = 38° 06' 44.00" (RT)

Degree = 17° 54' 17.75"

Tangent = 110.5355
 Length = 212.8588
 Radius = 320.0000
 External = 18.5529
 Long Chord = 208.9561
 Mid. Ord. = 17.5362
 P.C. Station 58+04.42 N 7,038,319.1890 E
 2,596,930.9210
 P.T. Station 60+17.28 N 7,038,517.1219 E
 2,596,997.8930
 C.C. N 7,038,321.2136 E
 2,597,250.9146
 Back = N 0° 21' 45.00" W
 Ahead = N 37° 44' 59.00" E
 Chord Bear = N 18° 41' 37.00" E

Point 821 N 7,038,517.1219 E 2,596,997.8930 Sta
60+17.28

Course from 821 to 822 S 52° 15' 01.00" E Dist
24.0000

Point 822 N 7,038,502.4287 E 2,597,016.8696 Sta
60+41.28

Course from 822 to 823 N 37° 44' 59.00" E Dist 66.6500

Point 823 N 7,038,555.1284 E 2,597,057.6736 Sta
61+07.93

Course from 823 to 824 S 87° 02' 51.00" E Dist 19.2500

Point 824 N 7,038,554.1369 E 2,597,076.8981 Sta
61+27.18

Curve Data

Curve C824-825
 P.I. Station 64+47.09 N 7,038,322.5075 E
 2,597,297.5636
 Delta = 28° 29' 34.00" (LT)
 Degree = 4° 32' 50.22"
 Tangent = 319.9147
 Length = 626.5889
 Radius = 1,260.0000
 External = 39.9790
 Long Chord = 620.1524
 Mid. Ord. =
 38.7495
 P.C. Station 61+27.18 N 7,038,554.1369 E
 2,597,076.8981
 P.T. Station 67+53.77 N 7,038,224.2017 E
 2,597,601.9997

C.C. N 7,039,423.2389 E
2,597,989.1819
Back = S 43° 36' 41.00" E
Ahead = S 72° 06' 15.00" E
Chord Bear = S 57° 51' 28.00" E

Point 825 N 7,038,224.2017 E 2,597,601.9997 Sta
67+53.77

Course from 825 to 818 S 72° 06' 15.00" E Dist 1,168.4617

Point 818 N 7,037,865.1482 E 2,598,713.9275 Sta
79+22.23

=====
=====

Ending parent tract description

=====
=====

End of parcel BOUNDARY description

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: P2022-047
PROJECT NAME: Preliminary Plat for Park Hills
SITE ADDRESS/LOCATIONS:

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bill Bricker of Columbia Development Company for the approval of a Preliminary Plat for the Park Hills Subdivision on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Approved w/ Comments

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for the Park Hills Subdivision consisting of 144 single-family residential lots on a 65.309-acre tract of land identified as the Oak Creek Subdivision; Tract 6 of the G. W. Redlin Survey, Abstract No. 183; and being portions of Tracts 1 & 6-1 of the G. W. Redlin Survey, Abstract No. 183, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) [Ordinance No. 22-46] for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally bounded by John King Boulevard, E. Williams Street, E. Washington Street, and Harry Myers Park.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2022-047) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block as follows:

Preliminary Plat
Park Hills
Lots 1-20, Block A; Lots 1-8, Block B;
Lots 1-27, Block C; Lots 1-52, Block D;
Lots 1-27, Block E; Lots 1-22, Block F;
65.309 Acres or 2,844,879.13 SF
144 Single Family Lots and
10 Open Space Lots
Situated Within
Tract 6 and portions of Tracts 1 and 6-1
Of the G. W. Redlin Survey, Abstract No. 183
City of Rockwall,
Rockwall County, Texas

M.5 For the open space lots do not include the X; also include the Block the open space lots are located within.

M.6 Provide the lot width at the build line on curved streets, cul-de-sacs, and eyebrows.

M.7 Provide a 10-foot utility easement along the internal streets.

M.8 Please provide street names.

M.9 Lot 11, Block A, should be indicated as Parkland Dedication to the City of Rockwall per this plat.

M.10 Please include the standard city signature block.

M.11 Should the dashed line north of Lot 1, Block C be an access easement?

M.12 Has access to E. Washington Street been pursued?

M.13 Provide a breakdown of the open space and floodplain.

M.14 Please indicate the landscape buffers and they should be included as their own open space lot. There should be a landscape buffer along E. Washington Street, and along the future E. Washington Street and SH-66.

M.15 Per the PD Ordinance, provide a Parks and Open Space Master Plan. This should delineate the amenities, such as sidewalks and structures, for the proposed development.

M.16 Provide a note indicating that the open space will be maintained by the HOA.

M.17 Please indicate [1] the water source for the development, [2] the sewage disposal method, [3] the boundaries of wooded areas, and [4] the zoning and land use information.

I.18 As a note, [1] L53 does not match between sheet 2 and the plat, and [2] I do not see an 89°15'52" at 297.37' indicated on the plat despite it being listed on sheet 2.

M.19 Please review and correct all items listed by the Engineering Department.

I.20 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on October 11, 2022, and the Parks Board Meeting will be on October 4, 2022.

I.21 The projected City Council Meeting date for this case will be October 17, 2022.

I.22 Please note that once the Preliminary Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: - Label this ROW for the future roads.

- Must add a 10' utility easement along all street frontage.
- Label and show required detention ponds.
- Floodplain and erosion hazard setback must be within drainage easements to be maintained by HOA.
- Call out NTMWD easement. Improvements within easement must have NTMWD approval.
- Please note that fences are not allowed within easements. Lots 12 and 13 will have a gap between fences and can not be fenced to property lines.
- Fence will not be allowed in NTMWD easement.
- Show 10' utility easement along frontages and the NTMWD line and easement on landscape plans.
- Drainage not reviewed at Preliminary Plat.
- Sewer to be 10" line, not 8".
- Water to be 12" line, not 8".
- Call out existing NTMWD main.
- Show and label 10" sewer from north to southern boundary and future connections to the east or show it through the site with stub outs for the eastern property

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Need to show and label utility/electric easement along western property line by Rockwall ISD
- Label all ex. easements
- ROW corner clips required at intersections.

Roadway Paving Items:

- TXDOT TIA required
- ROW for SH 66 new alignment to proposed layout. Reservation is approximately 140' total.
- ROW for FM 1141/Williams Street new alignment to proposed SH 66 layout. Reserve is approximately 76' total.
- Internal streets must be 29' b-b reinforced concrete paving with 50' ROW. - Intersections are to be set at 90-degree angles (no acute angle merges).
- Cul-de-sac ROW radius to be 57.5' and pavement radius of 47.5'
- Knuckles shall have a pavement radius of 50'.
- Must meet Rockwall and TXDOT driveway spacing requirements.

Water and Wastewater Items:

- All frontages must have a 10' utility easement.
- See all master line sizes required. Must tie the water line from John King to the western boundary.
- Must install 12" in future SH 66 from eastern property line to tie into ex. 12" in Washington St. May need to install said 12" to John King and install 16" in John King north to SH 66 then install 12" west. -Will need to do an infrastructure study with fees.
- Need to install 10" sewer along flood plain per Master Sewer Plan or through site with stub outs for eastern property.
- Must loop 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have NTMWD and the power company approval for paving and residential lots in their easement.
- May need to relocate 12" water line on the western area of site.

Drainage Items:

- Detention is required, not allowed in floodplain.
- Areas of 20 acres or more must use the unit hydrograph method for detention calculations. Review fees apply.

- Manning's C-value is per zoning type.
- Flood Study is required if you "touch" the floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- If not adjacent to creek drainage must be at sheet flow conditions at the property line or an easement on the neighboring property is required, all the way to the creek.
- WOTUS/Wetlands Study required for all existing ponds on site.
- Flood study required if "touching" the existing floodplain. Review fees apply.
- Meet erosion hazard setback requirements
- All finish floor elevations adjacent to the floodplain must be two feet above the floodplain elevation. All roadway and parking areas must be one foot above the floodplain elevation.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: All streets will be considered fire apparatus access roadway and shall exceed 10% in a grade change, with a cross slope not exceeding 5%. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.

All Cul-De-Sacs shall have a 47.5-foot minimum radius/ 95-foot diameter. Slopes and cross slopes shall comply with the above limitations.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved w/ Comments

- 09/19/2022: 1. Will need CAD (.dwg) file of road centerlines and lot lines for addressing to begin.
 2. We also will need a list of proposed street names to check for conflicts.
 (Please follow these guidelines: <http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>)
 3. Tie two corners to State Plane Coordinates (North Central Texas 4202 - Grid)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: P2022-047 (HENRY LEE) (Preliminary Plat)
 Park District 21

Cash In Lieu of Land: \$656.00 x 144 lots = \$94,464.00

Pro Rata Equipment Fee: \$621.00 x 144 lots = \$89,424.00

Total per lot x lots: \$1,277.00 x 144 lots = \$183,888.00

The developer is donating 1.87 acres of land for park development. Under normal circumstances we would not accept this as park land dedication, but this land falls within the Harry Myers Disc Golf Course that has hole #15 already developed and in use. Therefore we would accept this versus the Cash In Lieu of Land. We will only collect the Pro Rata Equipment fees on this development.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Need to show and label utility/electric easement along western property line by Rockwall ISD
- Label all ex. easements
- ROW corner clips required at intersections.

Roadway Paving Items:

- TXDOT TIA required
- ROW for SH 66 new alignment to proposed layout. Reservation is approximately 140' total.
- ROW for FM 1141/Williams Street new alignment to proposed SH 66 layout. Reserve is approximately 76' total.
- Internal streets must be 29' b-b reinforced concrete paving with 50' ROW. - Intersections are to be set at 90-degree angles (no acute angle merges).
- Cul-de-sac ROW radius to be 57.5' and pavement radius of 47.5
- Knuckles shall have a pavement radius of 50'.
- Must meet Rockwall and TXDOT driveway spacing requirements.

Water and Wastewater Items:

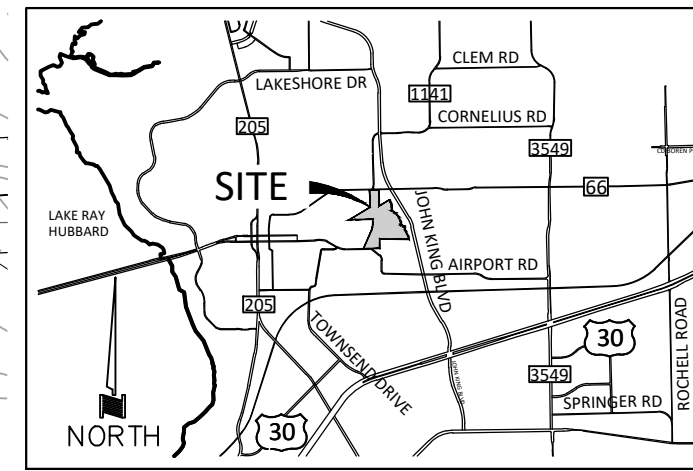
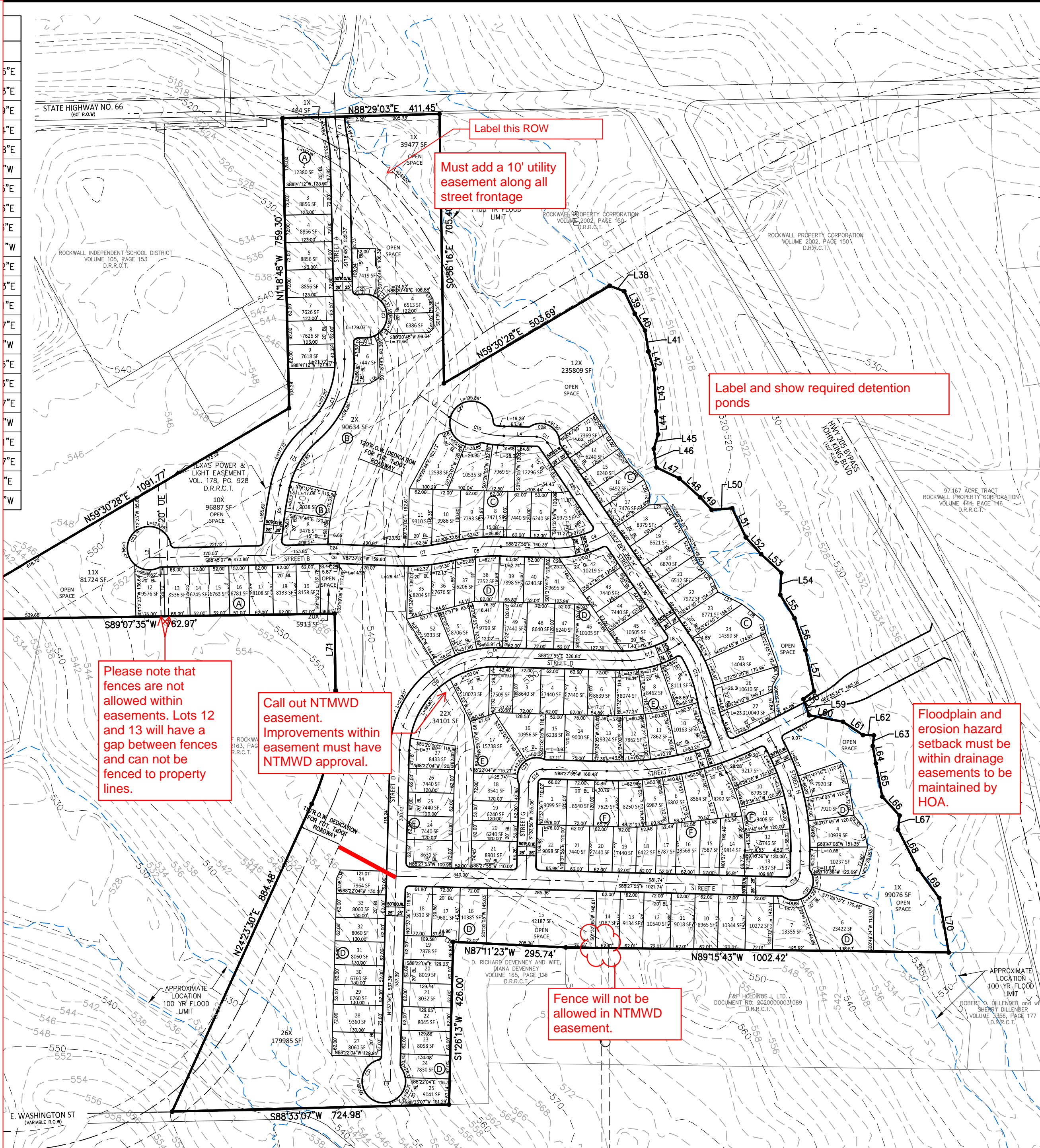
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- See all master line sizes required. Must tie the water line from John King to the western boundary.
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- Flood study required if "touching" the existing floodplain. Review fees apply.
- Meet erosion hazard setback requirements
- All finish floor elevations adjacent to the floodplain must be two feet above the floodplain elevation. All roadway and parking areas must be one foot above the floodplain elevation.

Landscaping:

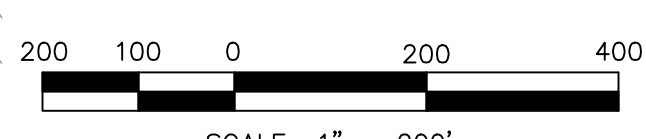
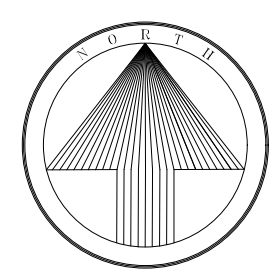
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".



VICINITY MAP N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
- BL Building Line
- C1 Curve No.
- <CM> Control Monument
- DE Drainage Easement
- DUE Drainage Utility Easement
- Esmt Easement
- L1 Line No.
- SF Square Feet
- UE Utility Easement
- VAM Visibility Easement
- D.R.R.C.T.= Deed Records of Rockwall County, Texas



SCALE 1" = 200'

PRELIMINARY PLAT PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
 LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
 LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
 65.309 ACRES OR 2,844,879.13 SQ. FT.
 144 SINGLE FAMILY LOTS AND
 10 OPEN SPACE LOTS
 SITUATED WITHIN THE
 GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2022-XXX

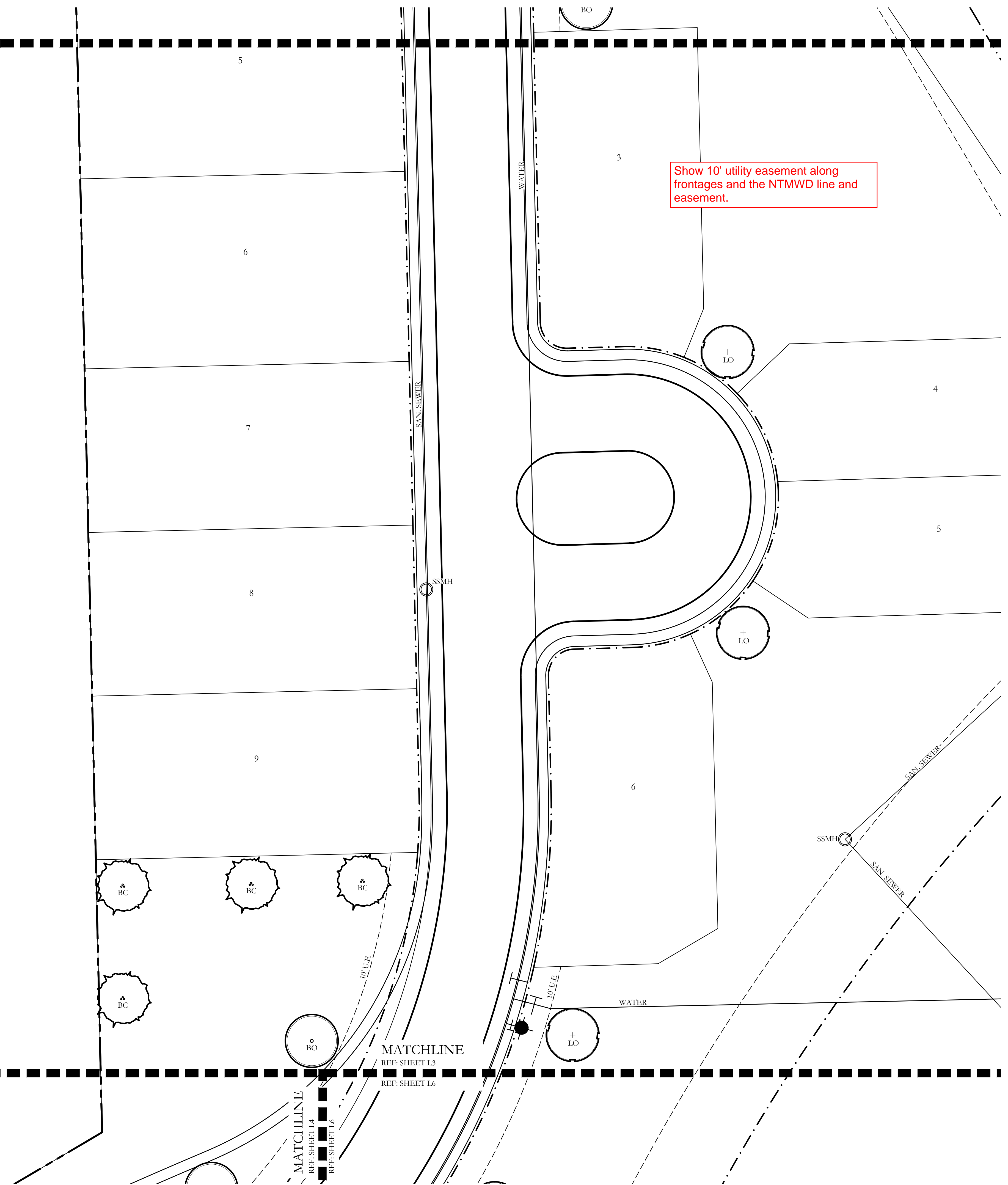
September 14, 2022
SHEET 1 OF 2

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE



MATCHLINE
REF: SHEET L2
REF: SHEET L3



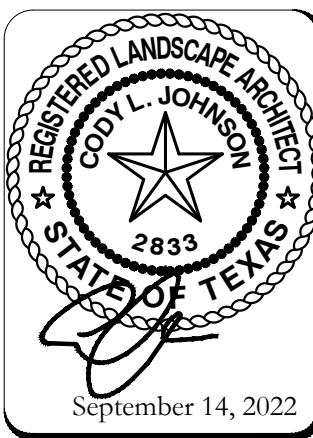
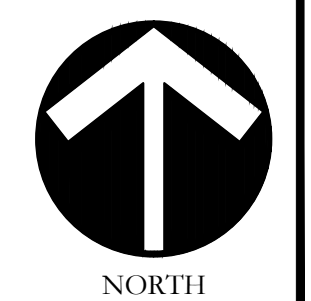
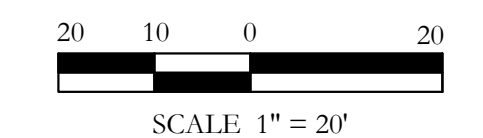
Show 10' utility easement along frontages and the NTMWD line and easement.

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN

MATCHLINE
REF: SHEET L3
REF: SHEET L4

MATCHLINE
REF: SHEET L4
REF: SHEET L5

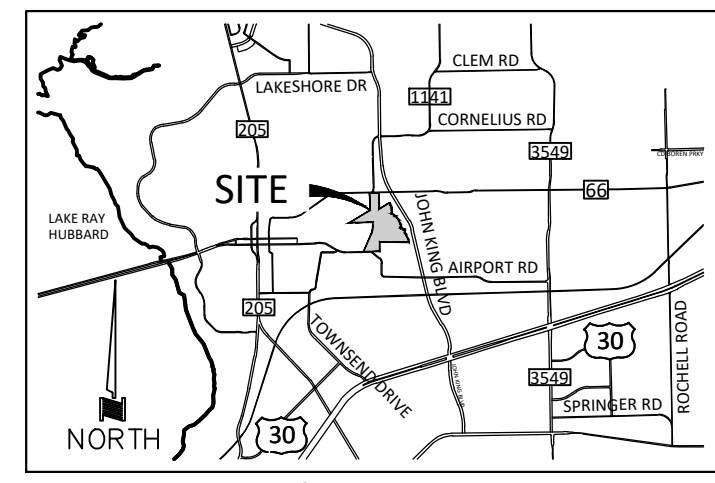
MATCHLINE
REF: SHEET L3
REF: SHEET L6



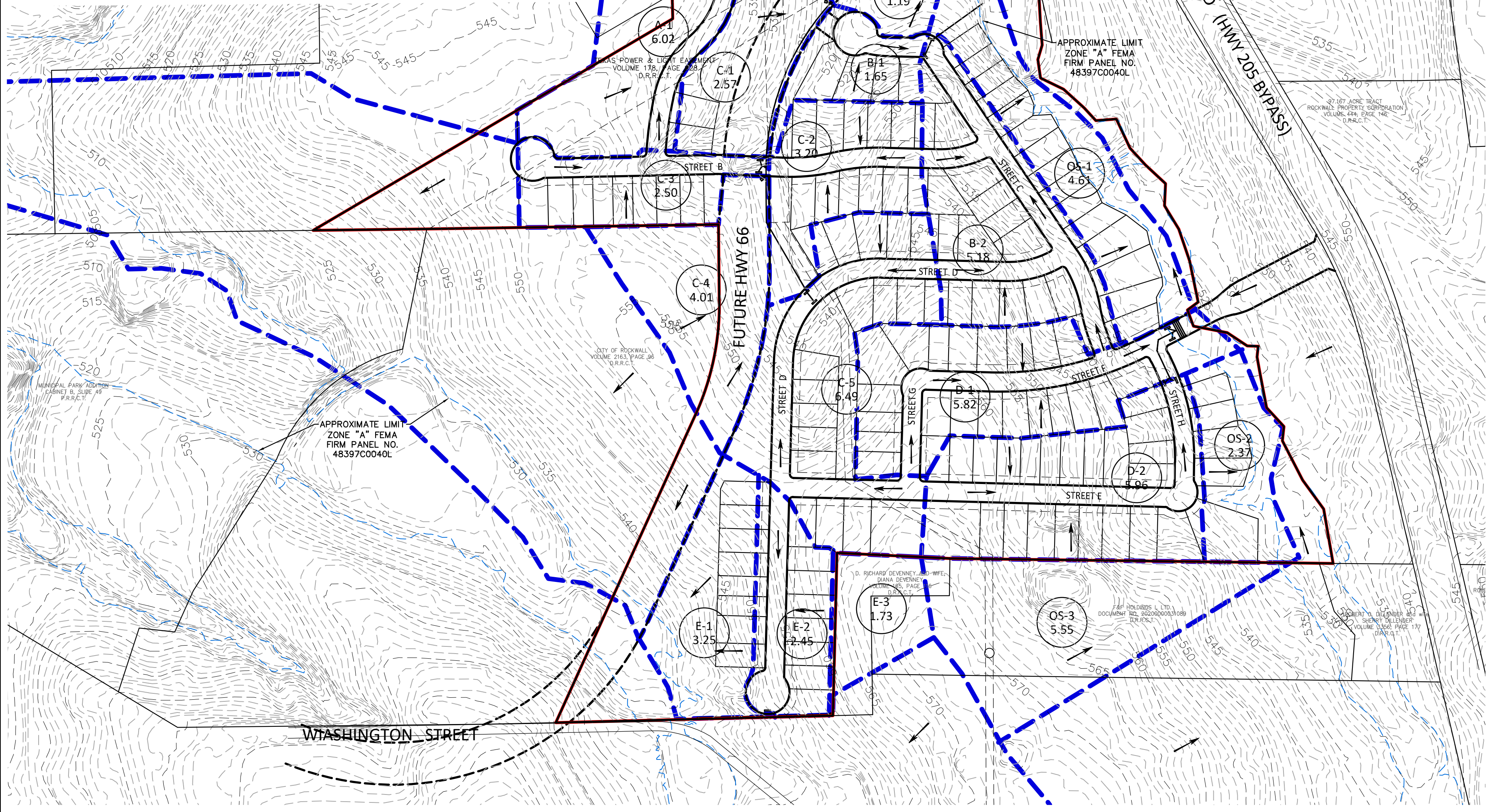
WILLIAMS STREET (HWY 66)

ULTIMATE DRAINAGE RUNOFF TABLE										
AREA ID	AREA (ac)	RUNOFF COEFF.	C*A	TC	I10	Q10	I25	Q25	I100	Q100
A-1	6.02	0.5	3.01	10	7.1	21.37	8.3	24.98	9.8	29.50
B-1	1.65	0.5	0.825	10	7.1	5.86	8.3	6.85	9.8	8.09
B-2	5.18	0.5	2.59	10	7.1	18.39	8.3	21.50	9.8	25.38
C-1	2.57	0.5	1.285	10	7.1	9.12	8.3	10.67	9.8	12.59
C-2	3.20	0.5	1.6	10	7.1	11.36	8.3	13.28	9.8	15.68
C-3	2.50	0.5	1.25	10	7.1	8.88	8.3	10.38	9.8	12.25
C-4	4.01	0.5	2.005	10	7.1	14.24	8.3	16.64	9.8	19.65
C-5	6.49	0.5	3.245	10	7.1	23.04	8.3	26.93	9.8	31.80
D-1	5.82	0.5	2.91	10	7.1	20.66	8.3	24.15	9.8	28.52
D-2	5.96	0.5	2.98	10	7.1	21.16	8.3	24.73	9.8	29.20
E-1	3.25	0.5	1.625	10	7.1	11.54	8.3	13.49	9.8	15.93
E-2	2.45	0.5	1.225	10	7.1	8.70	8.3	10.17	9.8	12.01
E-3	1.73	0.5	0.865	10	7.1	6.14	8.3	7.18	9.8	8.48
OS-1	4.61	0.5	2.305	10	7.1	16.37	8.3	19.13	9.8	22.59
OS-2	2.37	0.5	1.185	10	7.1	8.41	8.3	9.84	9.8	11.61
OS-3	5.55	0.5	2.775	10	7.1	19.70	8.3	23.03	9.8	27.20
OS-4	2.70	0.5	1.35	10	7.1	9.59	8.3	11.21	9.8	13.23
OS-5	1.19	0.5	0.595	10	7.1	4.22	8.3	4.94	9.8	5.83

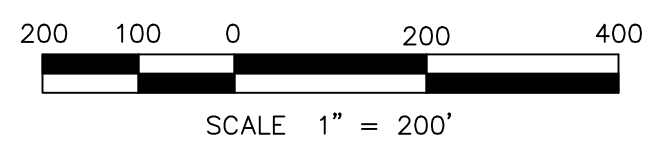
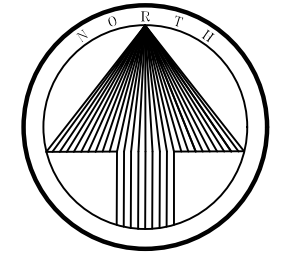
Not reviewed
at Preliminary
Plat



VICINITY MAP
N.T.S.



- C-1
22.64 AC DRAINAGE AREA DESIGNATION
- DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



PRELIMINARY DRAINAGE PLAN PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
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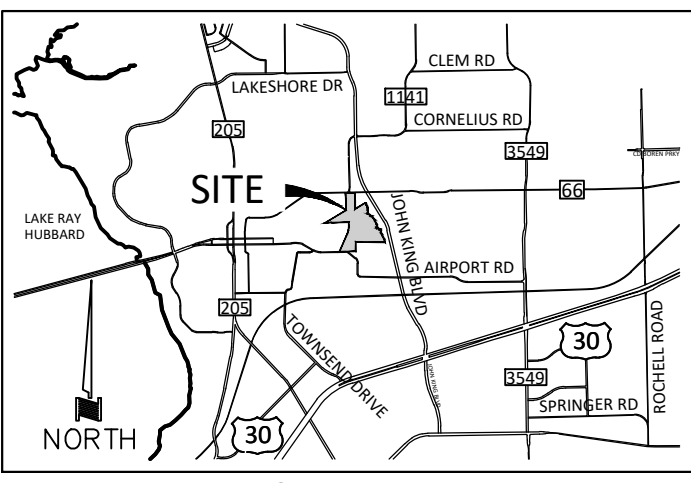
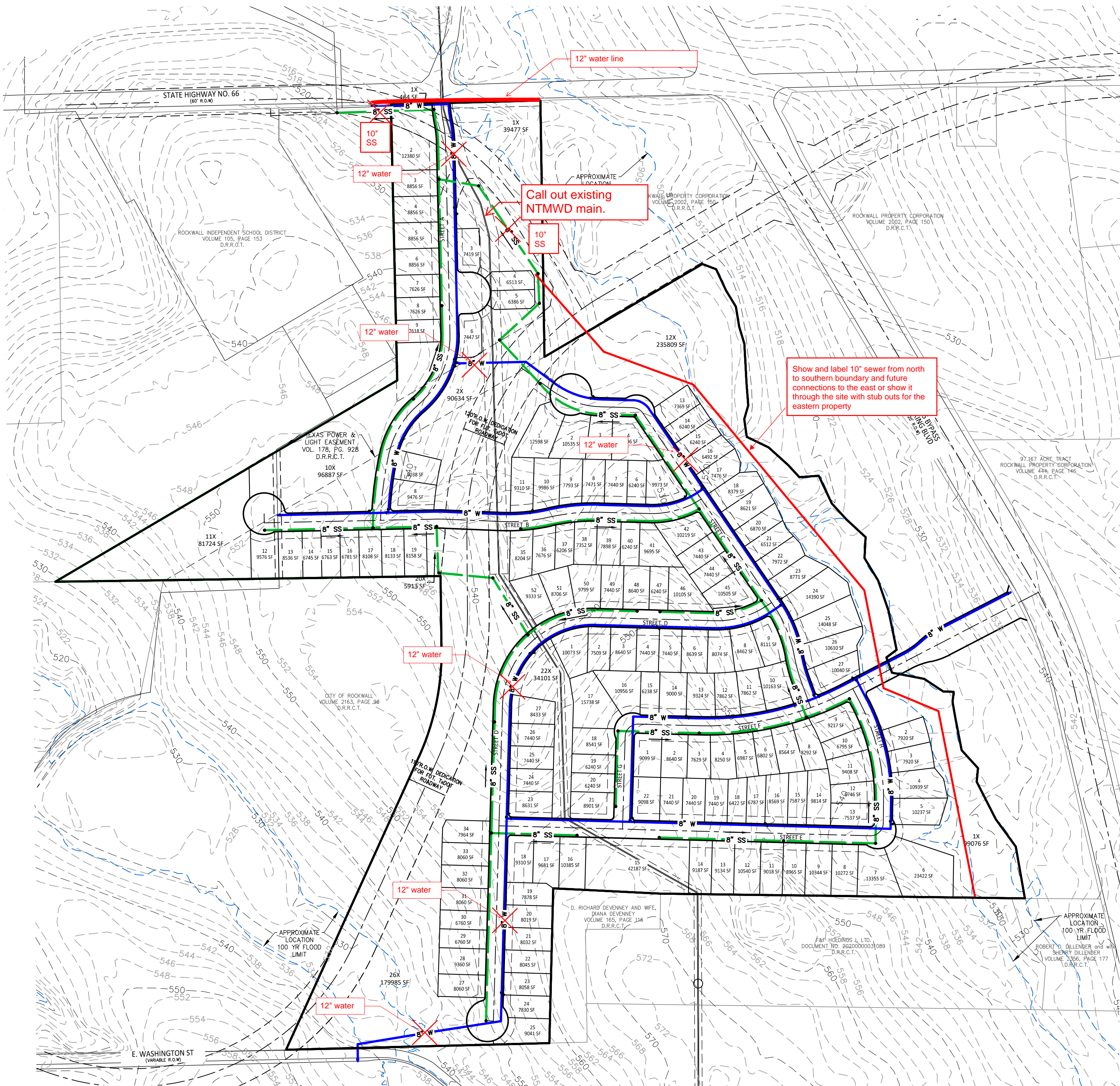
BENCHMARKS

- MONUMENT NO. 1
ELEVATION = XXXXX'
- MONUMENT NO. 2
ELEVATION = XXXXX'

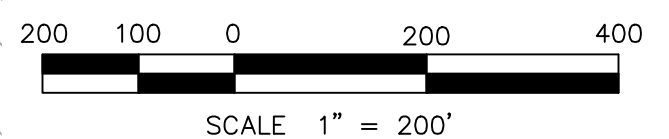
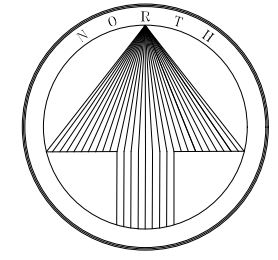
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704 Central Parkway East, Suite. 1200
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Contact: Joel Richey, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
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 Esmt Easement
 L1 Line No.
 SF Square Feet
 UE Utility Easement
 VAM Visibility Easement
 D.R.R.C.T.= Deed Records of Rockwall County, Texas



**PRELIMINARY UTILITY PLAN
 PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
 LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
 LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
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 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2022-XXX

September 14, 2022
 SHEET 1 OF 2

BENCHMARKS

1. MONUMENT NO. 1
 ELEVATION = 300.00'

2. MONUMENT NO. 2
 ELEVATION = 300.00'

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE

**JOHNSON VOLK
 CONSULTING**

TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS John King Blvd, Rockwall, TX 75087

SUBDIVISION ABS A0183, G W Redlin Tract 1, 6-1, 6 LOT BLOCK

GENERAL LOCATION Southwest of Intersection at John King Blvd & Williams Street (Hwy 66)

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-97 CURRENT USE Planned Development PD-97

PROPOSED ZONING PROPOSED USE

ACREAGE 65.309 LOTS [CURRENT] ~~132~~ 144 LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall Property Corp APPLICANT Michael Joyce Properties

CONTACT PERSON Bill Bricker CONTACT PERSON Ryan Joyce

ADDRESS 305 Park Place Blvd ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, TX 75087 CITY, STATE & ZIP Rockwall, TX 75087

PHONE PHONE 512-965-6280

E-MAIL E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Charles Bricker [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1177.64 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF September 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

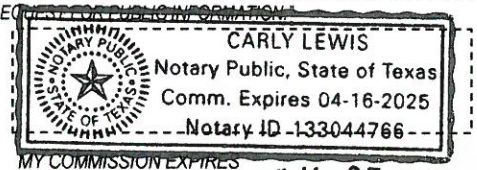
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF September, 2022

OWNER'S SIGNATURE

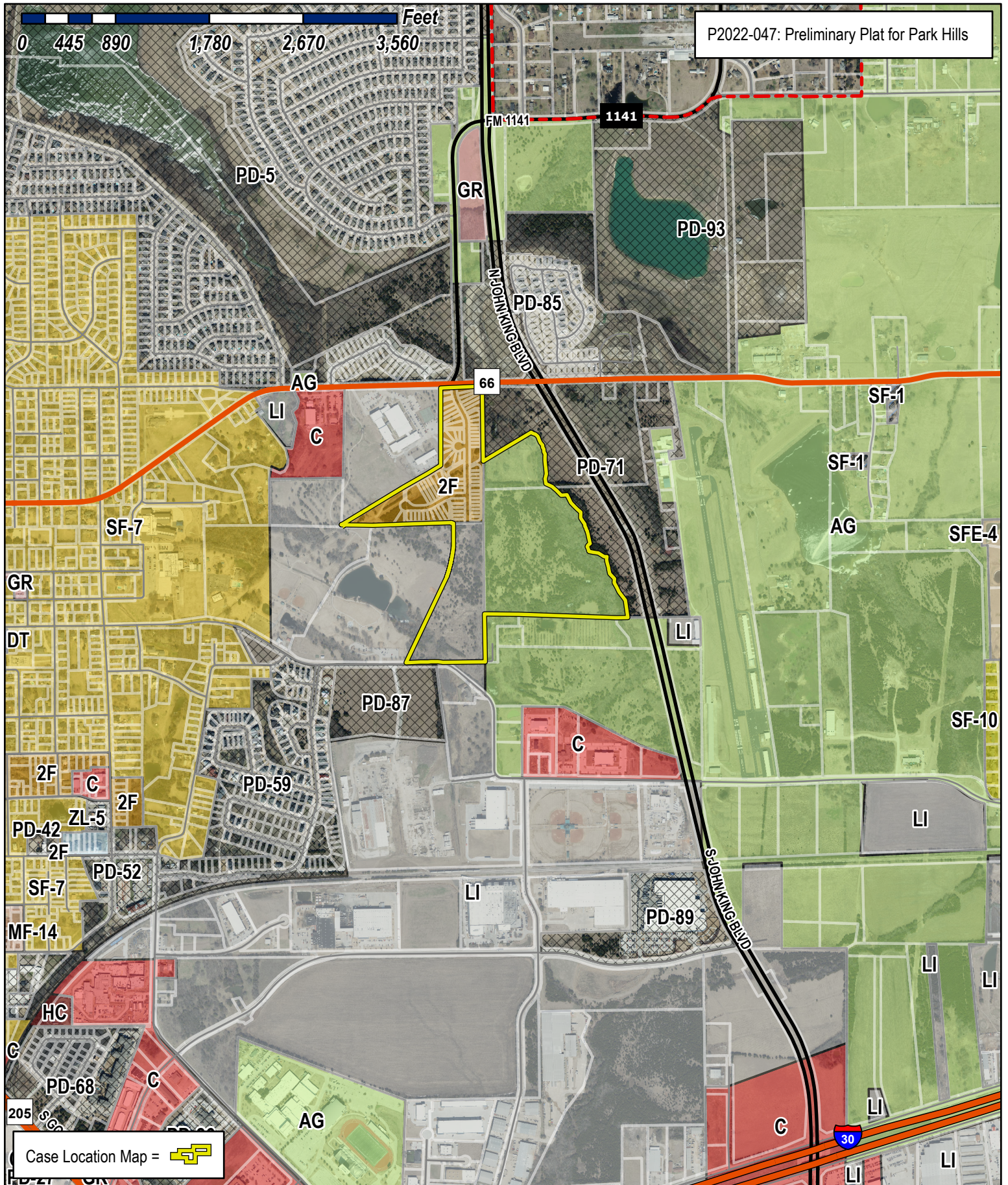
CB Bricker

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS


Ry



MY COMMISSION EXPIRES 4-16-25



P2022-047: Preliminary Plat for Park Hills

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





September 16, 2022

Re: Park Hills subdivision, City of Rockwall

To Whom It May Concern:

The Park Hills development will be constructed in a single phase. Due to this, we request the master plat requirement be waived and considered with the preliminary plat. Please let me know if you have any questions or need additional information.

SINCERELY,

A handwritten signature in blue ink, appearing to read 'Meredith Joyce', is written over the typed name.

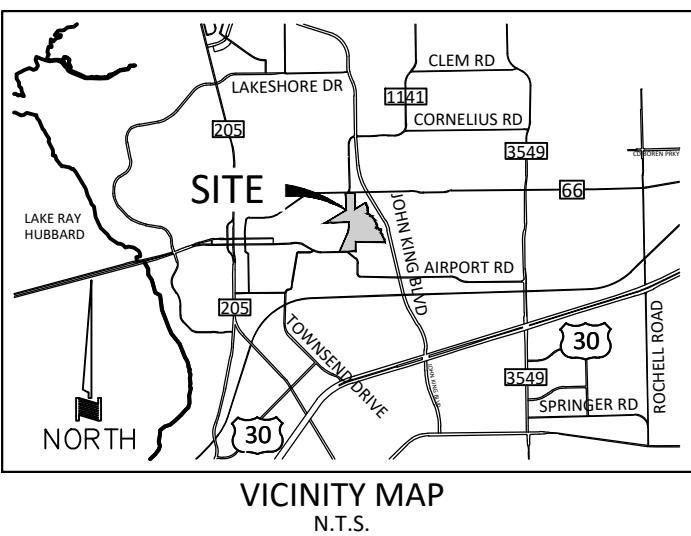
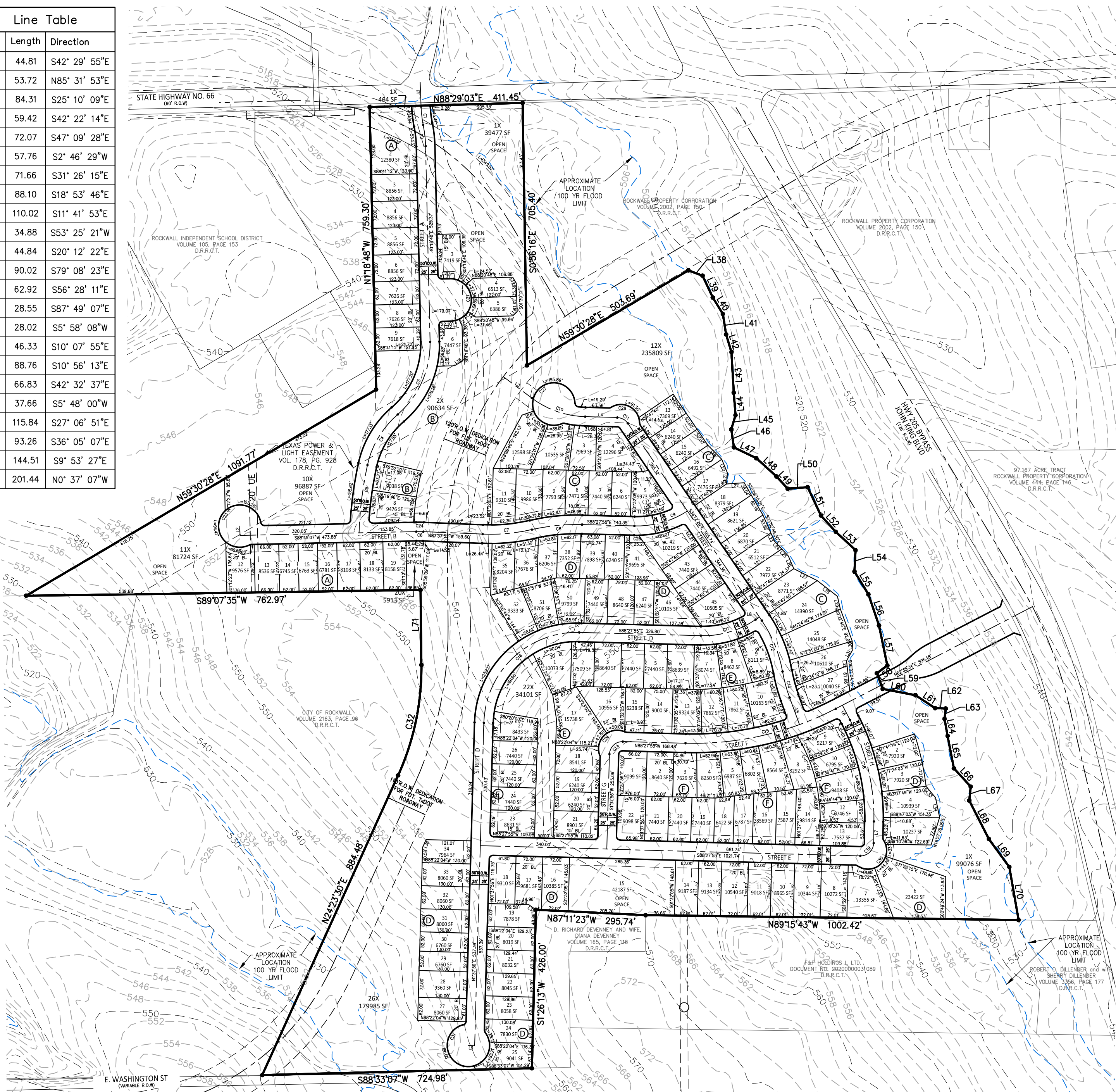
MEREDITH JOYCE
MICHAEL JOYCE PROPERTIES
MEREDITH@MICHAELJOYCEPROPERTIES.COM
512-694-6394

Line	Length	Direction
L1	65.23	S2° 04' 28"E
L2	25.00	N1° 14' 53"W
L3	95.91	N53° 06' 26"W
L4	86.48	S88° 27' 55"E
L5	77.75	S20° 01' 20"E
L6	44.07	S0° 49' 24"W
L7	58.14	S0° 49' 24"W
L8	12.44	N55° 47' 40"E
L9	17.00	N88° 22' 04"W
L10	20.00	S21° 51' 16"W
L11	27.29	S46° 30' 22"W
L12	19.00	N30° 30' 04"W
L13	16.52	N46° 40' 48"E
L14	25.17	N56° 06' 27"W
L15	20.00	N24° 28' 52"W
L16	26.26	S59° 28' 51"W
L17	47.17	S88° 20' 48"W
L18	33.34	S70° 54' 01"W
L19	52.90	S44° 46' 36"E
L20	40.25	S22° 05' 32"E
L21	29.15	S4° 49' 15"W
L22	47.55	N86° 10' 29"E
L23	24.20	S23° 52' 46"E
L24	28.53	S43° 06' 53"E

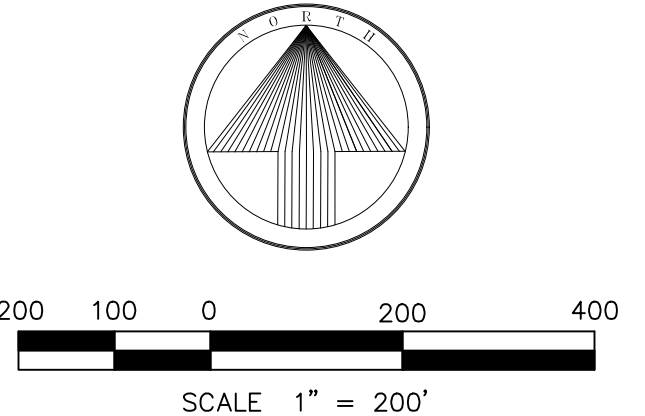
Line	Length	Direction
L25	26.13	S43° 06' 53"E
L26	36.88	S23° 03' 47"E
L27	70.81	S63° 05' 21"E
L28	68.69	S52° 08' 24"E
L29	34.60	S12° 49' 43"E
L30	22.92	S3° 57' 54"E
L31	34.78	S28° 45' 30"W
L32	13.63	S6° 02' 04"E
L33	39.95	N39° 43' 05"W
L34	53.70	N11° 48' 15"W
L35	23.50	N54° 21' 56"W
L36	23.23	N24° 23' 30"E
L37	11.12	S22° 52' 40"E
L38	40.60	S69° 21' 48"E
L39	64.89	S25° 06' 25"E
L40	51.80	S31° 25' 37"E
L41	55.61	S9° 09' 13"E
L42	49.61	S16° 55' 05"E
L43	109.33	S3° 11' 20"E
L44	60.49	S4° 27' 24"E
L45	39.76	S16° 19' 49"W
L46	48.89	S8° 12' 45"E
L47	66.87	S64° 09' 47"E
L48	73.04	S47° 50' 45"E

Line	Length	Direction
L49	44.81	S42° 29' 55"E
L50	53.72	N85° 31' 53"E
L51	84.31	S25° 10' 09"E
L52	59.42	S42° 22' 14"E
L53	72.07	S47° 09' 28"E
L54	57.76	S2° 46' 29"W
L55	71.66	S31° 26' 15"E
L56	88.10	S18° 53' 46"E
L57	110.02	S11° 41' 53"E
L58	34.88	S53° 25' 21"W
L59	44.84	S20° 12' 22"E
L60	90.02	S79° 08' 23"E
L61	62.92	S56° 28' 11"E
L62	28.55	S87° 49' 07"E
L63	28.02	S5° 58' 08"W
L64	46.33	S10° 07' 55"E
L65	88.76	S10° 56' 13"E
L66	66.83	S42° 32' 37"E
L67	37.66	S5° 48' 00"W
L68	115.84	S27° 06' 51"E
L69	93.26	S36° 05' 07"E
L70	144.51	S9° 53' 27"E
L71	201.44	N0° 37' 07"W

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	49.54	300.00	009°27'43"	49.49	S06° 48' 19"E
C2	57.99	325.00	010°13'22"	57.91	N06° 25' 29"W
C3	221.02	250.00	050°39'11"	213.89	N24° 00' 47"E
C4	161.03	250.00	036°54'16"	158.26	S30° 53' 14"W
C5	183.88	988.00	010°39'49"	183.62	S07° 06' 12"W
C6	18.94	300.00	003°37'01"	18.93	N89° 26' 22"W
C7	133.38	500.00	015°17'05"	132.99	N84° 43' 36"E
C8	136.19	540.00	014°27'02"	135.83	S84° 18' 34"W
C9	150.33	250.00	034°27'13"	148.08	N74° 18' 29"E
C10	154.28	250.00	035°21'28"	151.84	S70° 47' 11"E
C11	33.15	35.00	054°15'35"	31.92	S61° 20' 07"E
C12	149.06	355.00	024°03'27"	147.97	N22° 10' 36"W
C13	72.38	420.00	009°52'27"	72.29	S15° 05' 06"E
C14	54.92	35.00	089°54'09"	49.46	S46° 35' 01"W
C15	419.26	830.00	028°56'31"	414.82	N77° 03' 50"E
C16	392.27	250.00	089°54'09"	353.25	S46° 35' 01"W
C17	155.95	250.00	035°44'25"	153.43	N73° 39' 53"E
C18	283.31	575.00	028°13'51"	280.46	N13° 17' 31"W
C19	55.41	35.00	090°42'41"	49.80	N46° 10' 45"E
C20	23.39	57.00	023°30'28"	23.22	N79° 53' 58"W
C21	39.59	57.00	039°47'58"	38.80	N13° 59' 34"E
C22	22.71	57.00	022°49'40"	22.56	N76° 55' 58"E
C23	94.47	57.00	094°57'30"	84.02	S01° 12' 23"E
C24	20.52	325.00	003°37'01"	20.51	N89° 26' 22"W
C25	17.36	275.00	003°37'01"	17.36	N89° 26' 22"W
C26	12.15	275.00	002°31'54"	12.15	S89° 43' 52"E
C27	195.89	57.00	196°54'17"	112.76	N79° 21' 10"E
C28	91.30	50.00	104°37'28"	79.14	N69° 42' 37"W
C29	42.80	50.00	049°02'53"	41.51	S32° 05' 31"W
C30	44.29	50.00	050°44'52"	42.85	N43° 56' 11"E
C31	180.65	57.00	181°35'20"	113.99	S14° 44' 47"E
C32	305.56	700.00	025°00'38"	303.14	N11° 53' 11"E



- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
 BL Building Line
 C1 Curve No.
 <CM> Control Monument
 DE Drainage Easement
 DUE Drainage Utility Easement
 Esmt Easement
 L1 Line No.
 SF Square Feet
 UE Utility Easement
 VAM Visibility Easement
 D.R.R.C.T. = Deed Records of Rockwall County, Texas



**PRELIMINARY PLAT
 PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
 LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
 LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
 65.309 ACRES OR 2,844,879.13 SQ. FT.
 144 SINGLE FAMILY LOTS AND
 10 OPEN SPACE LOTS

SITUATED WITHIN THE
 GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2022-XXX

September 14, 2022
 SHEET 1 OF 2

BENCHMARKS

1. MONUMENT NO. 1
 ELEVATION = XXX.XX
 2. MONUMENT NO. 2
 ELEVATION = XXX.XX

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Joel Richey, PE

**JOHNSON VOLK
 CONSULTING**

TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**LEGAL DESCRIPTION:
65.309 ACRES**

BEING a tract of land situated in the GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183, City of Rockwall, Rockwall County, Texas and being all of OAK CREEK, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 201, Plat Records, Rockwall County, Texas and being part of those tracts of land described in Deed to Rockwall Property Corporation, as recorded in Volume 444, Page 146 and Volume 2002, Page 150, Deed Records, Rockwall County, Texas and being all of that tract of land described in Deed to Rockwall Property Corporation, as recorded in Volume 2051, Page 53, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of State Highway No. 66, a 60 foot right-of-way, for the common northwest corner of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northeast corner of that tract of land described in Deed to Rockwall Independent School District, as recorded in Volume 105, Page 153, Deed Records, Rockwall County, Texas;

THENCE North 88 degrees 29 minutes 03 seconds East, with said south line, a distance of 411.45 feet to a wood post found for the common northeast corner of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53 and northwest corner of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150;

THENCE South 00 degrees 56 minutes 16 seconds East, leaving said south line and with the common west line of said Rockwall Property Corporation tract recorded in Volume 2002, Page 150 and east line of said OAK CREEK Addition and said Rockwall Property Corporation tract recorded in Volume 2051, Page 53, a distance of 705.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 59 degrees 30 minutes 28 seconds East, leaving said common line, a distance of 503.69 feet to a point for corner;

THENCE South 69 degrees 21 minutes 48 seconds East, a distance of 40.60 feet to a point for corner;

THENCE South 25 degrees 06 minutes 25 seconds East, a distance of 64.89 feet to a point for corner;

THENCE South 31 degrees 25 minutes 37 seconds East, a distance of 51.80 feet to a point for corner;

THENCE South 09 degrees 09 minutes 13 seconds East, a distance of 55.61 feet to a point for corner;

THENCE South 16 degrees 55 minutes 05 seconds East, a distance of 49.61 feet to a point for corner;

THENCE South 03 degrees 11 minutes 20 seconds East, a distance of 109.33 feet to a point for corner;

THENCE South 04 degrees 27 minutes 24 seconds East, a distance of 60.49 feet to a point for corner;

THENCE South 16 degrees 19 minutes 49 seconds West, a distance of 39.76 feet to a point for corner;

THENCE South 08 degrees 12 minutes 45 seconds East, a distance of 48.89 feet to a point for corner;

THENCE South 64 degrees 09 minutes 47 seconds East, a distance of 66.87 feet to a point for corner;

THENCE South 47 degrees 50 minutes 45 seconds East, a distance of 73.04 feet to a point for corner;

THENCE South 42 degrees 29 minutes 55 seconds East, a distance of 44.81 feet to a point for corner;

THENCE North 85 degrees 31 minutes 53 seconds East, a distance of 53.72 feet to a point for corner;

THENCE South 25 degrees 10 minutes 09 seconds East, a distance of 84.31 feet to a point for corner;

THENCE South 42 degrees 22 minutes 14 seconds East, a distance of 59.42 feet to a point for corner;

THENCE South 47 degrees 09 minutes 28 seconds East, a distance of 71.66 feet to a point for corner;

THENCE South 02 degrees 46 minutes 29 seconds West, a distance of 57.76 feet to a point for corner;

THENCE South 31 degrees 26 minutes 15 seconds East, a distance of 71.66 feet to a point for corner;

THENCE South 18 degrees 53 minutes 46 seconds East, a distance of 88.10 feet to a point for corner;

THENCE South 11 degrees 41 minutes 53 seconds East, a distance of 110.02 feet to a point for corner;

THENCE South 53 degrees 25 minutes 21 seconds West, a distance of 34.88 feet to a point for corner;

THENCE South 20 degrees 12 minutes 22 seconds East, a distance of 44.84 feet to a point for corner;

THENCE South 79 degrees 08 minutes 23 seconds East, a distance of 90.02 feet to a point for corner;

THENCE South 56 degrees 28 minutes 11 seconds East, a distance of 62.92 feet to a point for corner;

THENCE South 87 degrees 49 minutes 07 seconds East, a distance of 28.55 feet to a point for corner;

THENCE South 05 degrees 58 minutes 08 seconds West, a distance of 28.02 feet to a point for corner;

THENCE South 10 degrees 07 minutes 55 seconds East, a distance of 46.33 feet to a point for corner;

THENCE South 10 degrees 56 minutes 13 seconds East, a distance of 88.76 feet to a point for corner;

THENCE South 42 degrees 32 minutes 37 seconds East, a distance of 66.83 feet to a point for corner;

THENCE South 05 degrees 48 minutes 00 seconds West, a distance of 37.66 feet to a point for corner;

THENCE South 27 degrees 06 minutes 51 seconds East, a distance of 115.84 feet to a point for corner;

THENCE South 36 degrees 05 minutes 07 seconds East, a distance of 93.26 feet to a point for corner;

THENCE South 09 degrees 53 minutes 27 seconds East, a distance of 144.51 feet to a point for corner in the common south line of said Rockwall Property Corporation tract recorded in Volume 444, Page 146 and north line of that tract of land described in Deed to Robert O. Dillender and wife, Sherry Dillender, as recorded in Volume 3356, Page 177, Deed Records, Rockwall County, Texas;

THENCE Westerly, with said south line, the following four (4) courses and distances:

North 89 degrees 15 minutes 43 seconds West, a distance of 1,002.42 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to F&F Holdings I, Ltd., as recorded in Document No. 2020000031089, Deed Records, Rockwall County, Texas and northeast corner of that tract of land described in Deed to D. Richard Devenney and wife, Diana Devenney, as recorded in Volume 165, Page 116, Deed Records, Rockwall County, Texas;

North 87 degrees 11 minutes 23 seconds West, a distance of 295.74 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an interior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 01 degrees 26 minutes 13 seconds West, a distance of 426.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common southwest corner of said D. Richard Devenney and wife, Diana Devenney tract and an exterior ell corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146;

South 88 degrees 33 minutes 07 seconds West, a distance of 724.98 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found in the north line of Washington Street, a variable width right-of-way, for the common southwest corner of said Rockway Property Corporation tract recorded in Volume 444, Page 146 and southeast corner of that tract of land described in Deed to City of Rockwall, as recorded in Volume 2163, Page 96, Deed Records, Rockwall County, Texas;

THENCE Northerly, with the east line of said City of Rockwall tract, the following three (3) courses and distances:

North 24 degrees 23 minutes 30 seconds East, a distance of 884.48 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found at the beginning of a curve to the left having a central angle of 25 degrees 00 minutes 38 seconds, a radius of 700.00 feet and a chord bearing and distance of North 11 degrees 53 minutes 11 seconds East, 303.14 feet;

Northerly, with said curve to the left, an arc distance of 305.56 feet to a 1/2 inch iron rod with a red plastic cap stamped "SPARK SURVEY" found for corner;

North 00 degrees 37 minutes 07 seconds West, a distance of 201.44 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northeast corner of said City of Rockwall tract and an exterior ell corner of said Rockwall Property Corporation tract recorded in Volume 444, Page 146;

THENCE South 89 degrees 07 minutes 35 seconds West, a distance of 762.97 feet to a 3/8 inch iron rod found for the common northwest corner of said City of Rockwall tract and northeast corner of MUNICIPAL PARK ADDITION, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Cabinet B, Slide 49, Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 15 minutes 52 seconds West, with the north line of said MUNICIPAL PARK ADDITION, a distance of 297.37 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the southwest corner of the above mentioned OAK CREEK Addition;

THENCE North 59 degrees 30 minutes 28 seconds East, leaving said north line and with the west line of said OAK CREEK Addition, a distance of 1,091.77 feet to a 1/2 inch iron rod found for corner;

THENCE North 01 degrees 18 minutes 48 seconds West, continuing with said west line, a distance of 759.30 feet to the POINT OF BEGINNING and containing 65.309 acres of land, more or less.

SCHEDULE B NOTES:

10e. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10f. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 267, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10g. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 268, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10h. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 40, PAGE 193, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10i. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 45, PAGE 266, DEED RECORDS, ROCKWALL, COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10j. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 46, PAGE 249, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10k. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 199, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10l. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 394, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10m. EASEMENT TO CITY OF ROCKWALL RECORDED IN DOCUMENT NO. 2019-4112, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

NOTES:

1. BASIS OF BEARINGS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.

2. THE SUBJECT TRACT LIES WITHIN ZONE X (UNSHADED), DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AND ZONE A, DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON COMMUNITY PANEL NOS. 48397C0030L AND 48397C0035L, DATED SEPTEMBER 26, 2008 FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS.

3. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN TITLE RESOURCES GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 22135356-10GH, EFFECTIVE DATE FEBRUARY 16, 2022 AND ISSUED FEBRUARY 22, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

4. VISIBLE IMPROVEMENTS/UTILITIES WERE NOT LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

5. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

6. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

7. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

8. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED; AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.

Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE



SURVEYOR'S CERTIFICATE:

To MRJOYCE, LLC; MIKE L. PEOPLES; ALLEGIANCE TITLE COMPANY; and TITLE RESOURCES GUARANTY COMPANY:

I, Ryan S. Reynolds, a Registered Professional Land Surveyor in the State Of Texas, do hereby certify that this plat is based on an actual on the ground survey made under my direct supervision and all corners are monumented as shown hereon. Except as shown, there are no visible encroachments, conflicts or protrusions apparent on the ground.

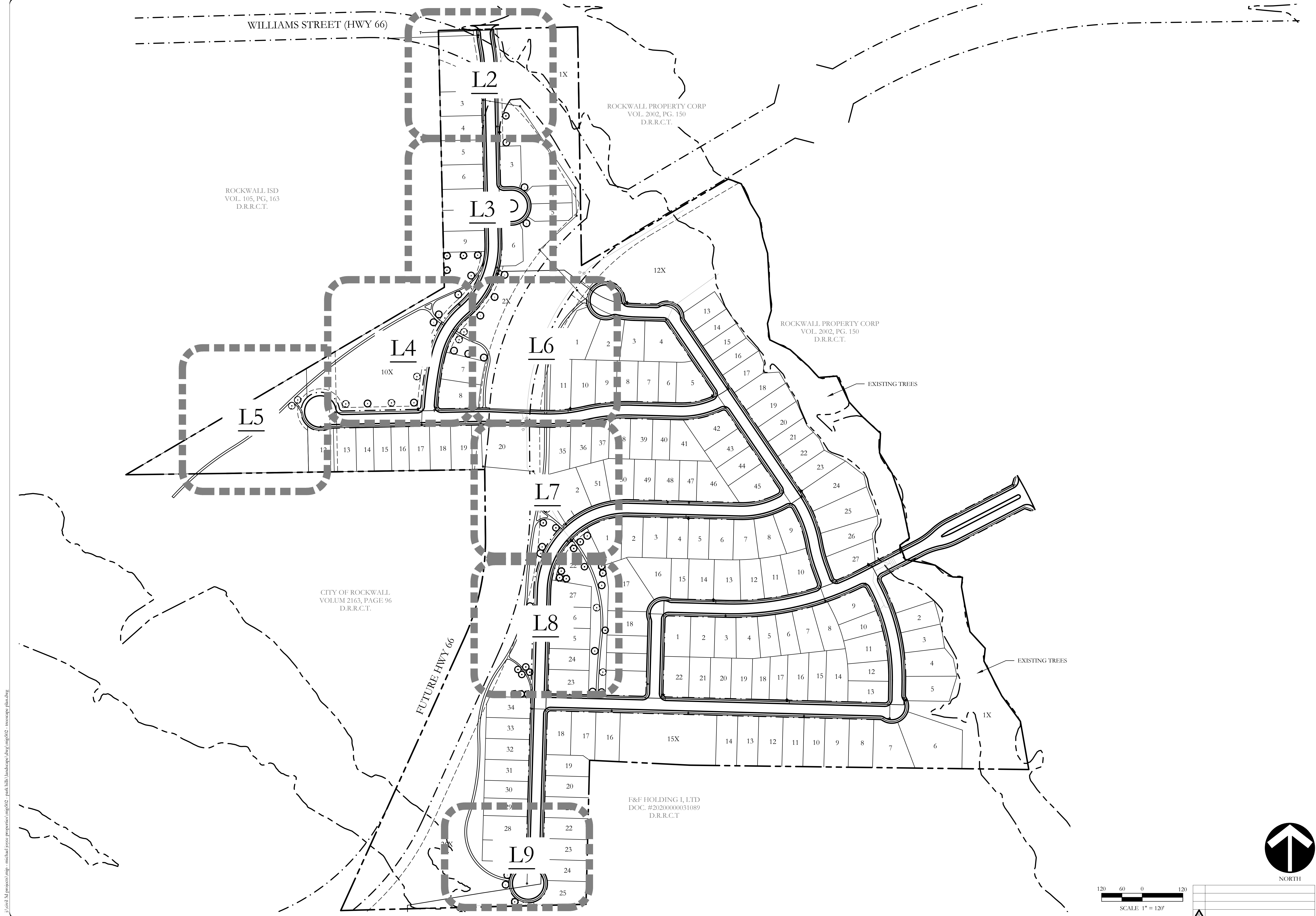
PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385

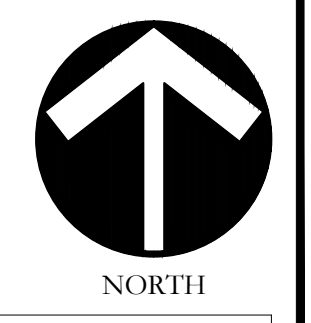
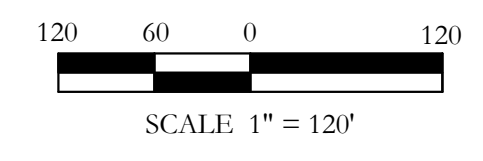
SURVEYED ON THE GROUND: XXXX XX, 2022

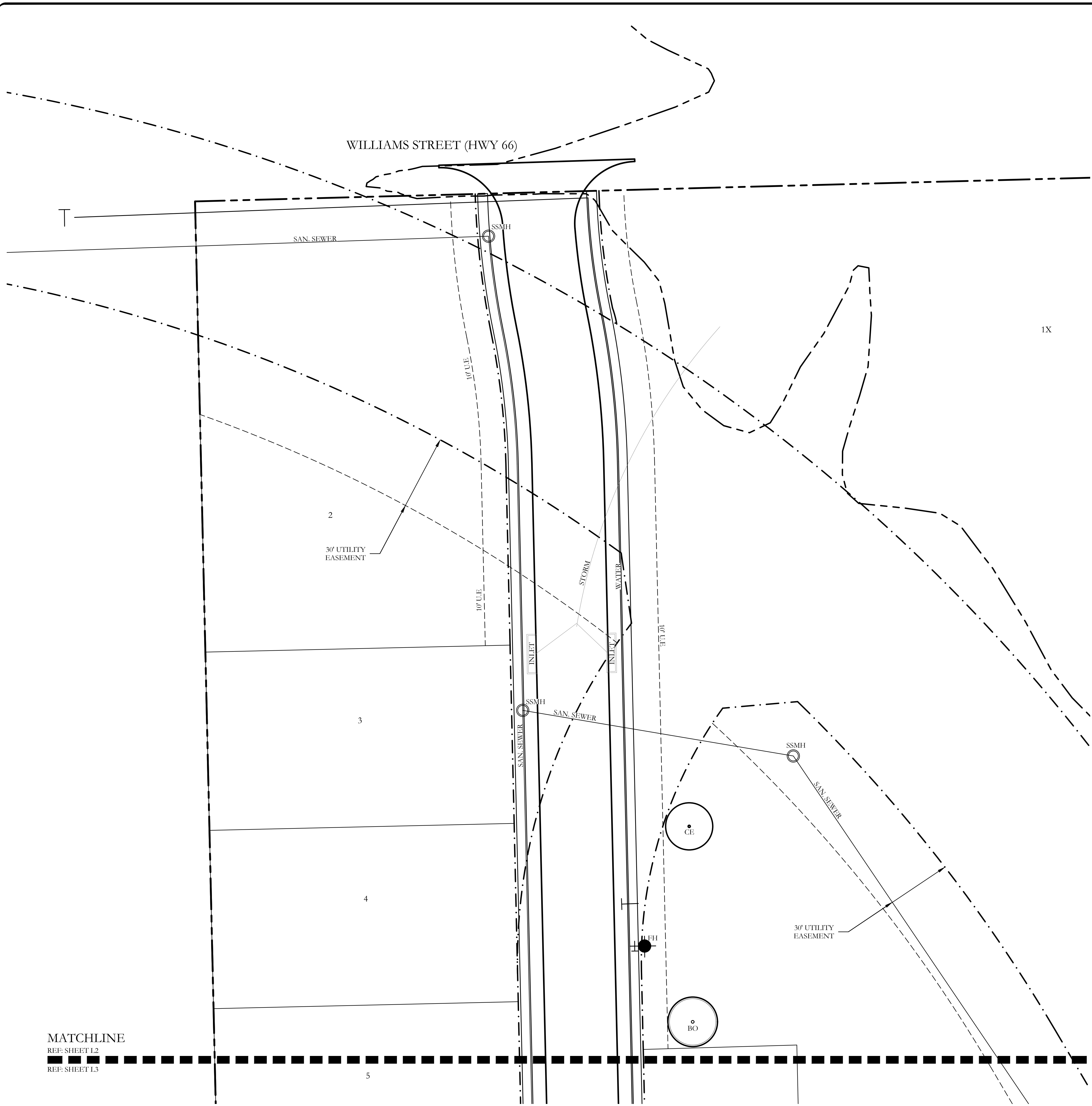
**PRELIMINARY PLAT
PARK HILLS**
LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
65.309 ACRES OR 2,844,879.13 SQ. FT.
144 SINGLE FAMILY LOTS AND
10 OPEN SPACE LOTS
SITUATED WITHIN THE
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2022-XXX

September 14, 2022
SHEET 2 OF 2

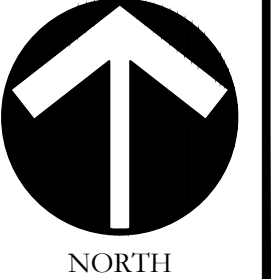
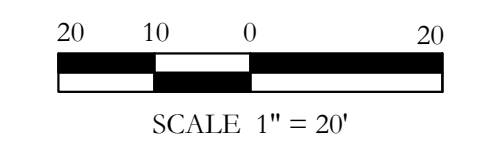


E:\proj\13\projects\imp - michael joyce\properties\imp062 - park hills\landscape\dwg\imp062 - treescape plan.dwg

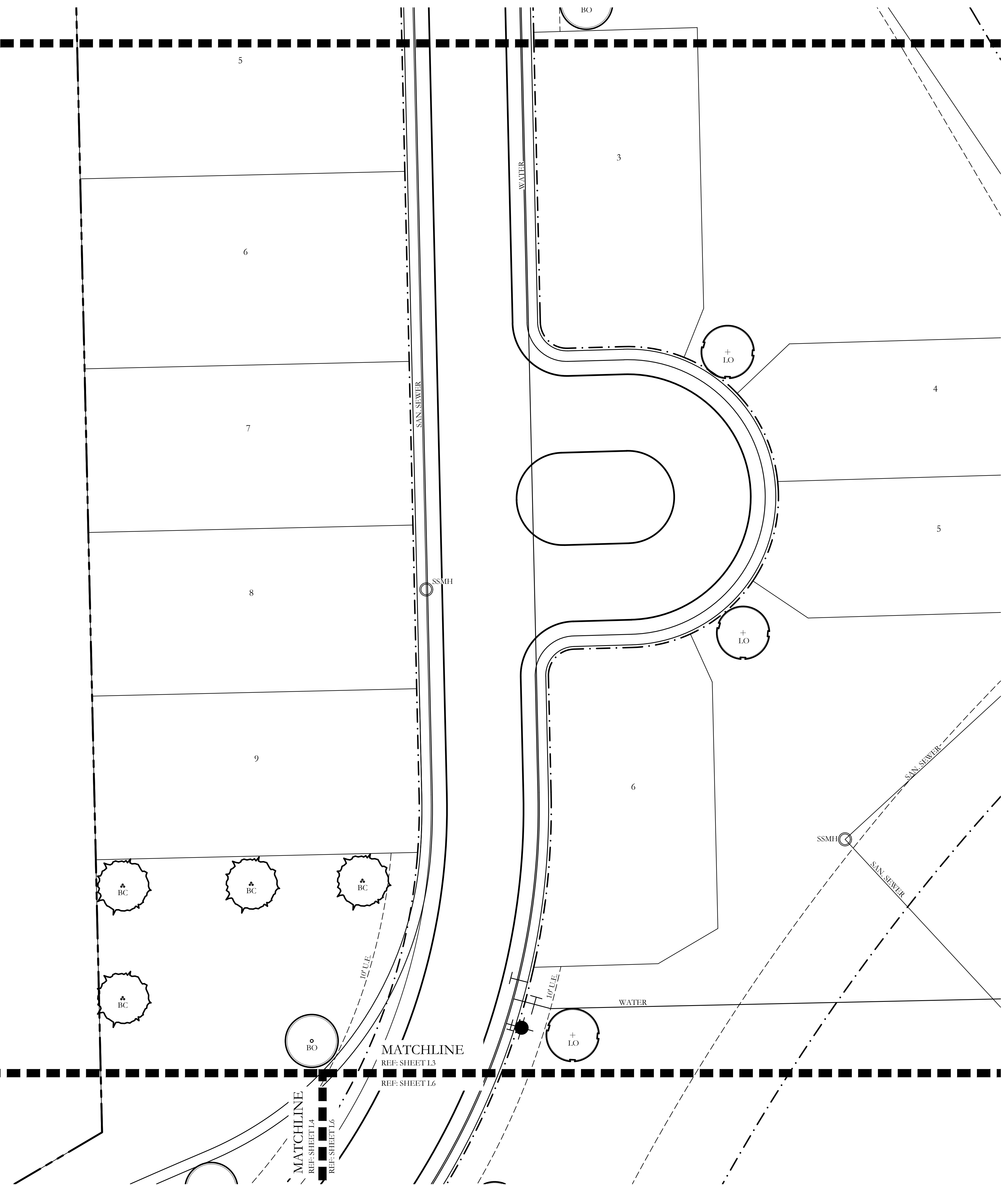




PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN



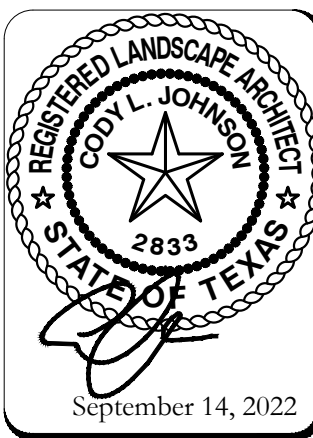
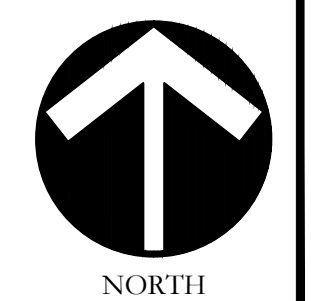
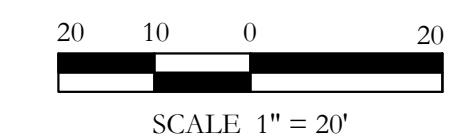
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REF: SHEET L3

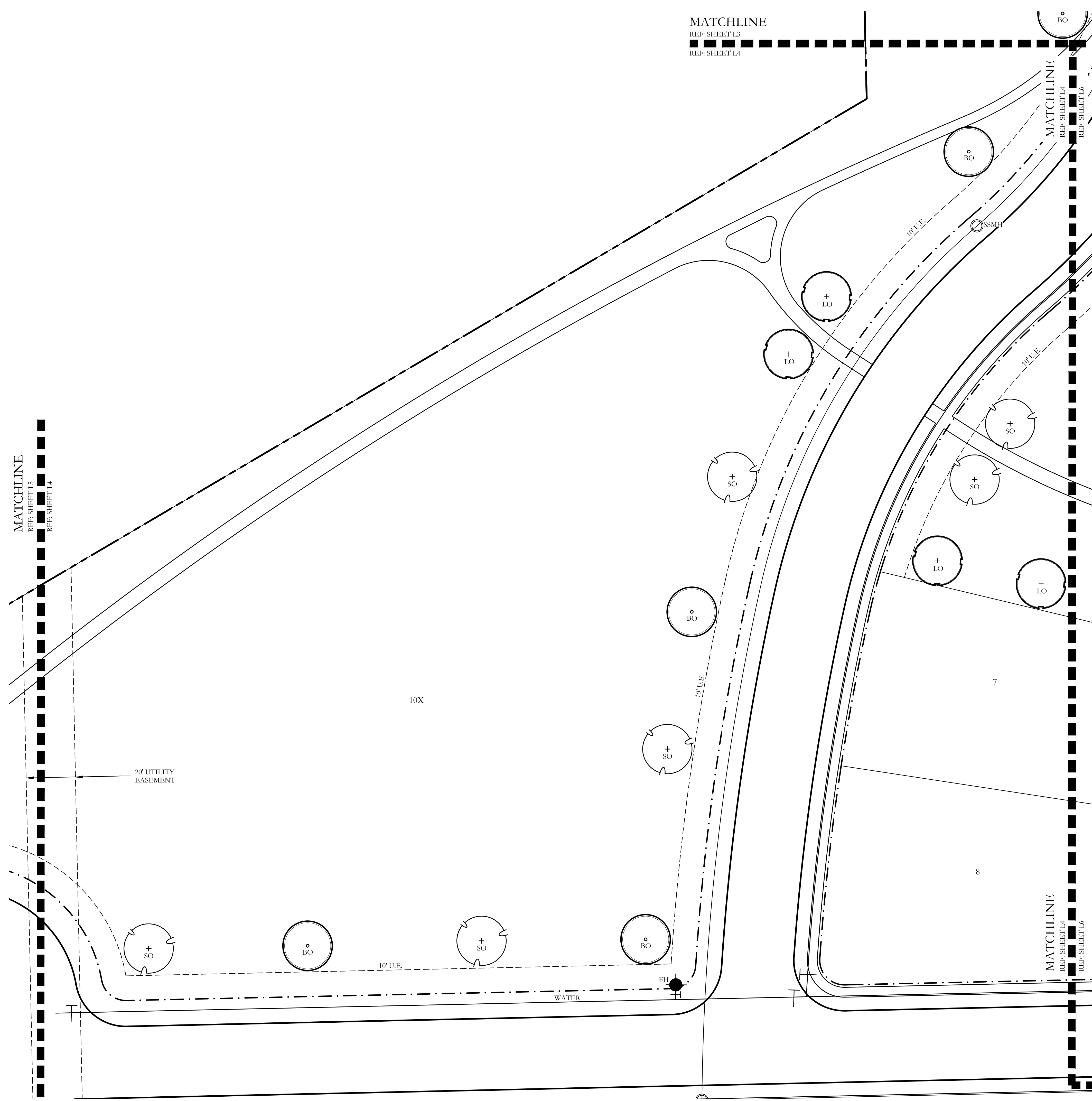


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN

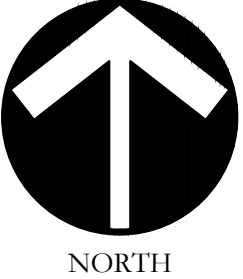
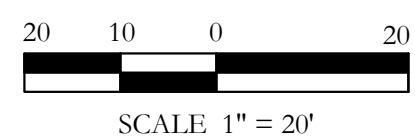
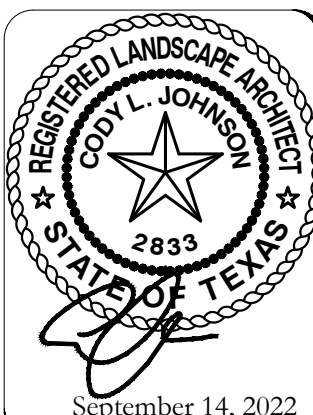
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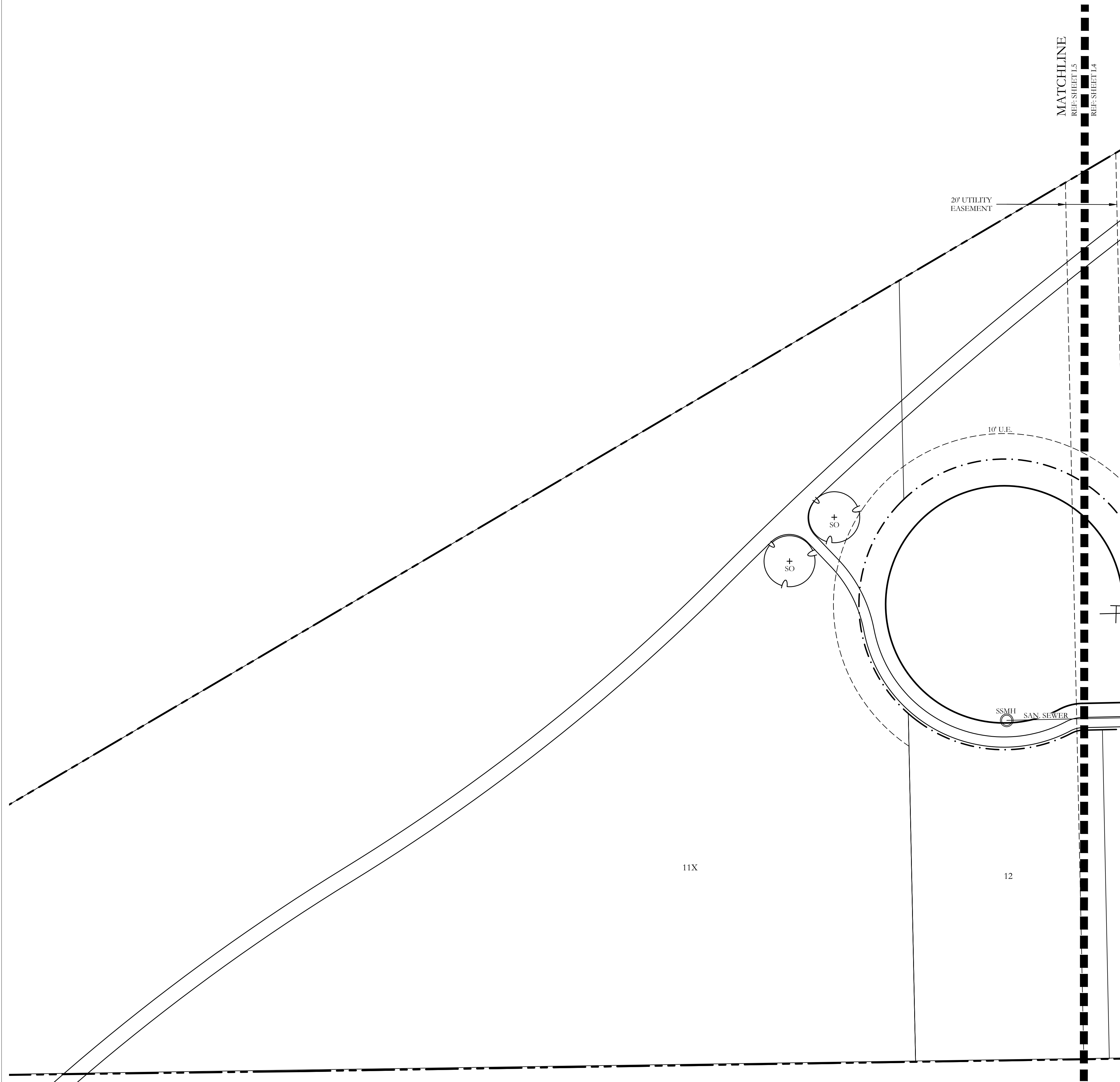
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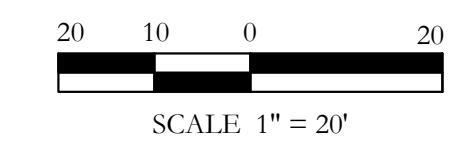


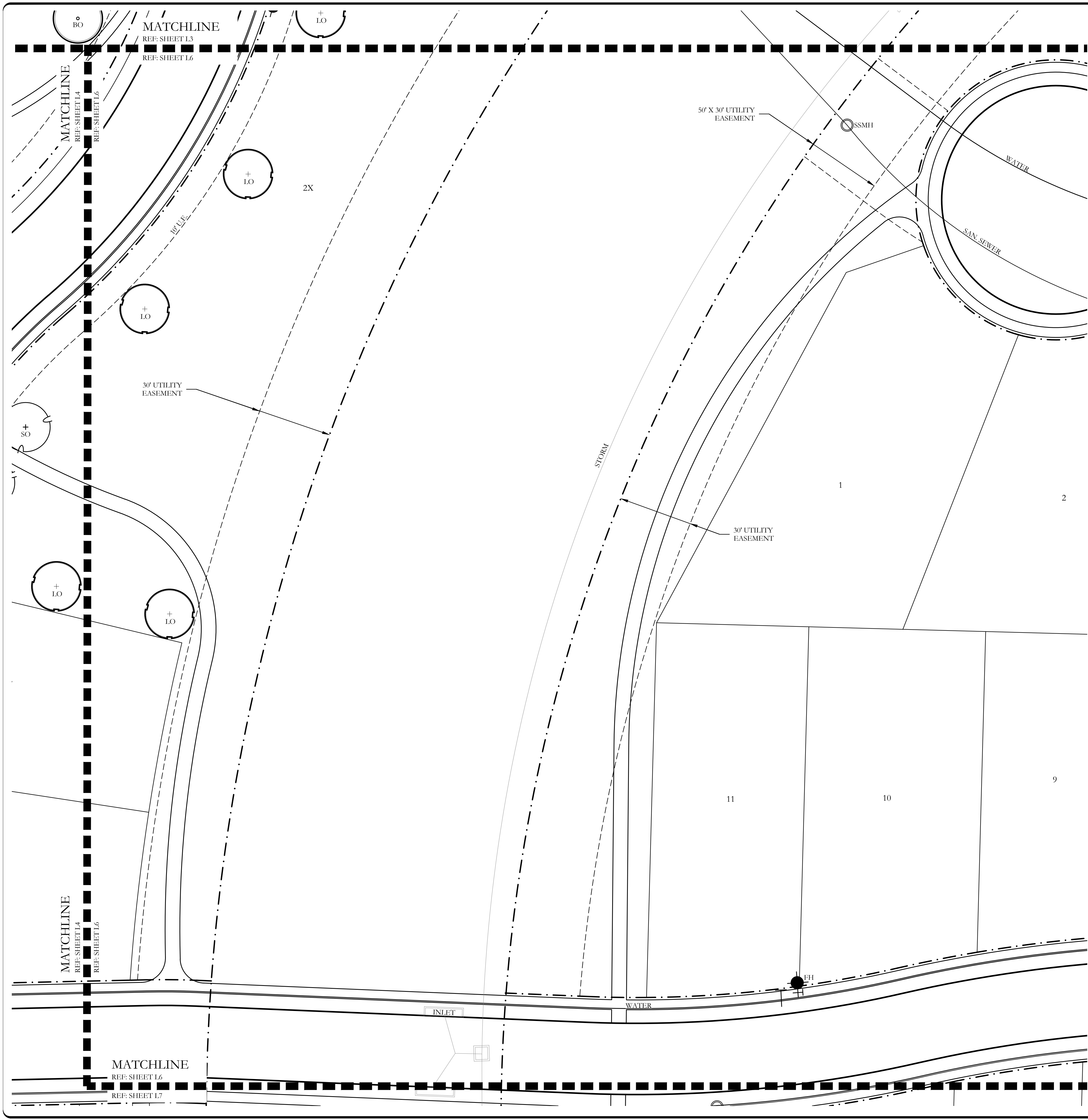
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN



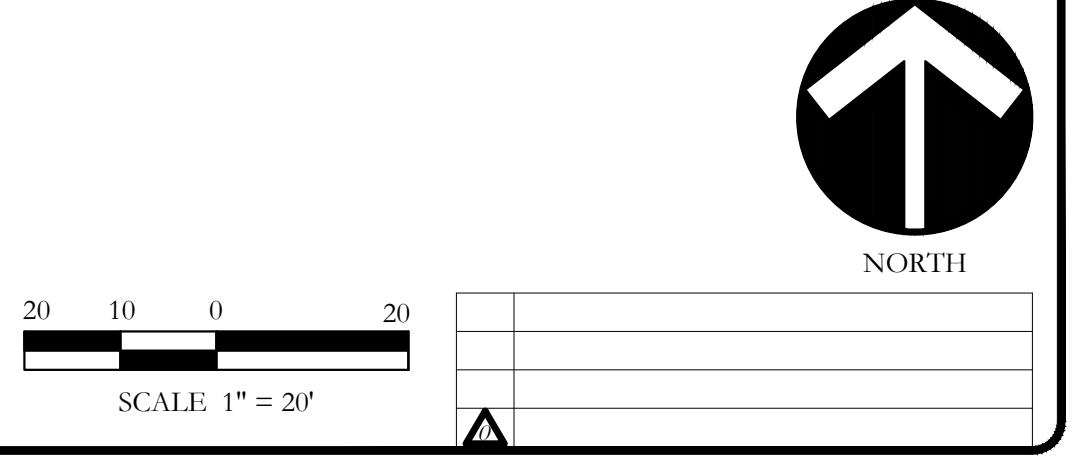


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN

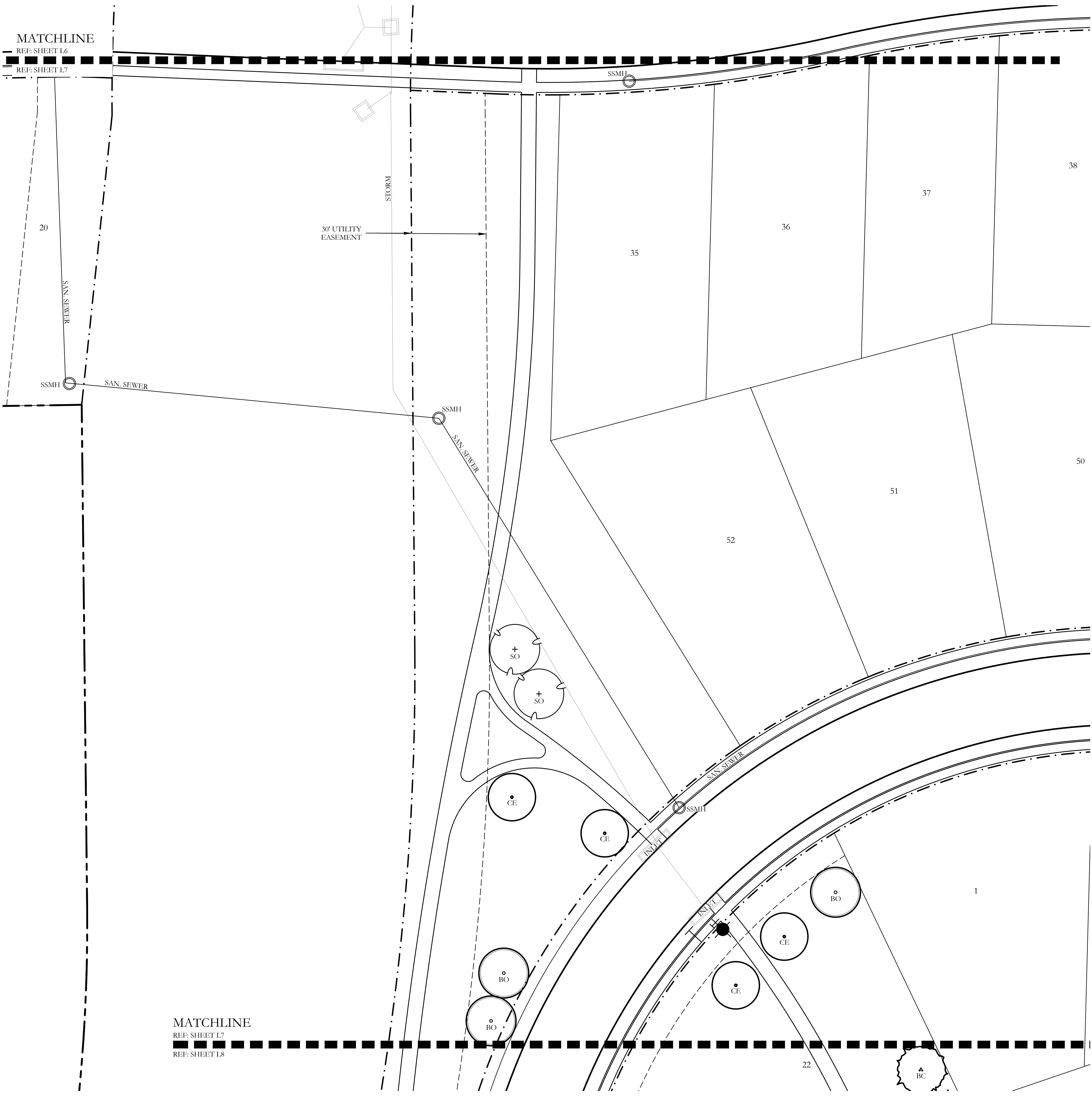




PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN

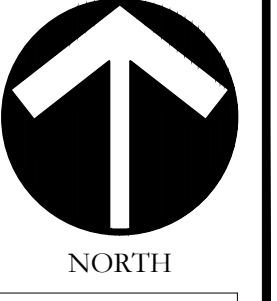
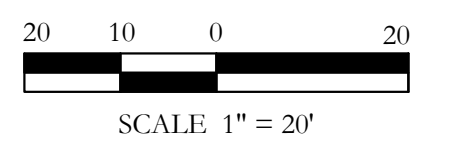


MATCHLINE
REF: SHEET L6
REF: SHEET L7



MATCHLINE
REF: SHEET L7
REF: SHEET L8

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN



MATCHLINE
 REF: SHEET L7
 REF: SHEET L8

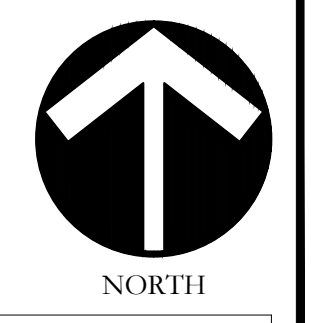
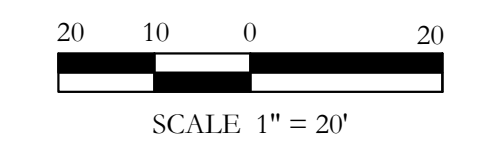
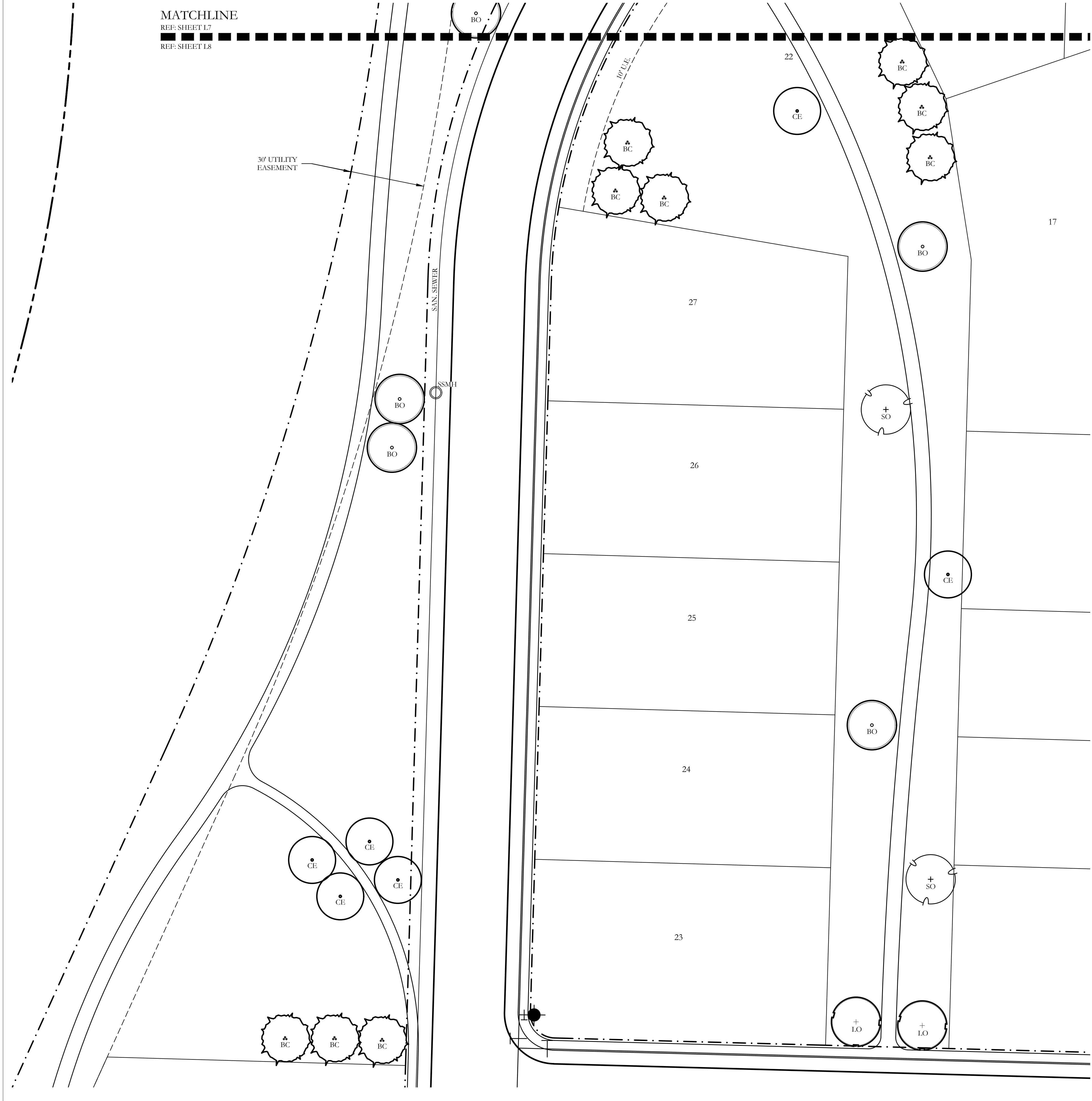
30' UTILITY EASEMENT

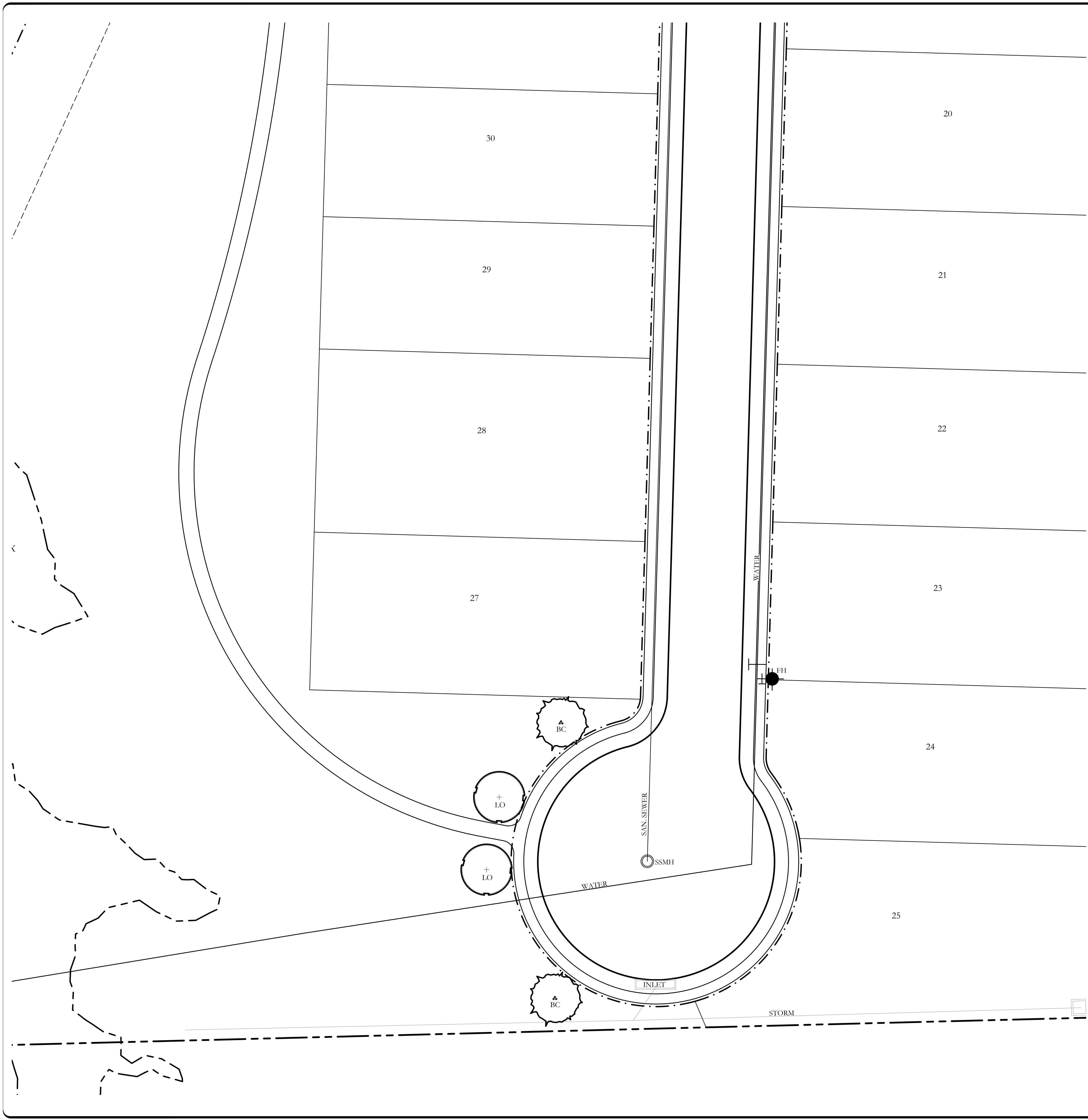
SAN. SEWER

SSMH

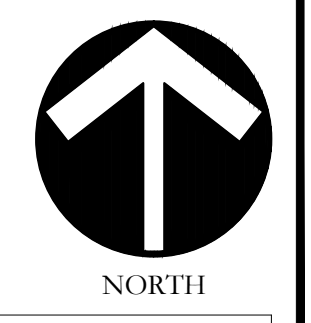
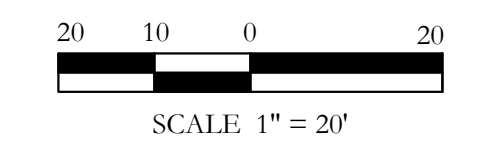
10' L.I.E.

PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN

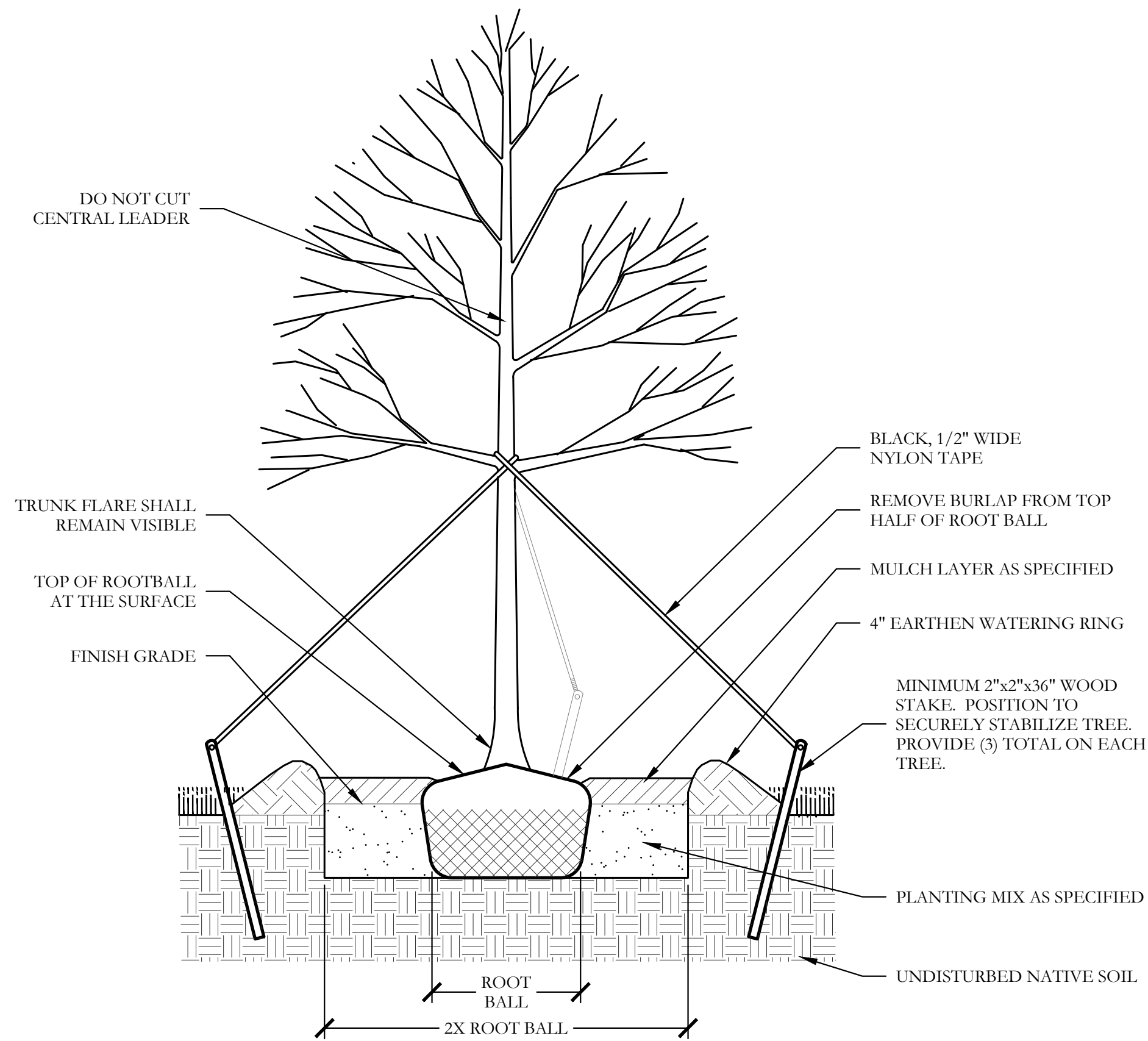




PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	BC	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN



PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	14	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	12	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	13	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	11	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BC	15	BALD CYPRESS	TAXODIUM DISTICHUM	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

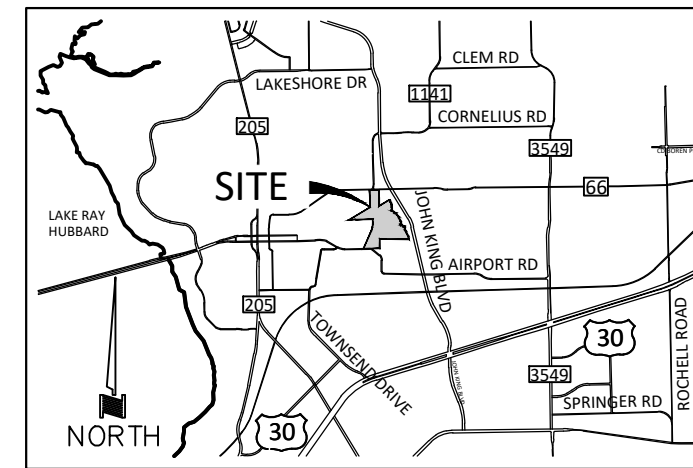
MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

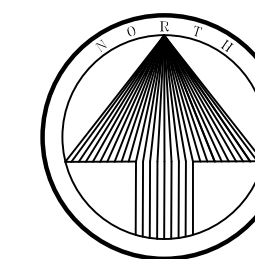
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

ULTIMATE DRAINAGE RUNOFF TABLE										
AREA ID	AREA (ac)	RUNOFF COEFF.	C*A	TC	I10	Q10	I25	Q25	I100	Q100
A-1	6.02	0.5	3.01	10	7.1	21.37	8.3	24.98	9.8	29.50
B-1	1.65	0.5	0.825	10	7.1	5.86	8.3	6.85	9.8	8.09
B-2	5.18	0.5	2.59	10	7.1	18.39	8.3	21.50	9.8	25.38
C-1	2.57	0.5	1.285	10	7.1	9.12	8.3	10.67	9.8	12.59
C-2	3.20	0.5	1.6	10	7.1	11.36	8.3	13.28	9.8	15.68
C-3	2.50	0.5	1.25	10	7.1	8.88	8.3	10.38	9.8	12.25
C-4	4.01	0.5	2.005	10	7.1	14.24	8.3	16.64	9.8	19.65
C-5	6.49	0.5	3.245	10	7.1	23.04	8.3	26.93	9.8	31.80
D-1	5.82	0.5	2.91	10	7.1	20.66	8.3	24.15	9.8	28.52
D-2	5.96	0.5	2.98	10	7.1	21.16	8.3	24.73	9.8	29.20
E-1	3.25	0.5	1.625	10	7.1	11.54	8.3	13.49	9.8	15.93
E-2	2.45	0.5	1.225	10	7.1	8.70	8.3	10.17	9.8	12.01
E-3	1.73	0.5	0.865	10	7.1	6.14	8.3	7.18	9.8	8.48
OS-1	4.61	0.5	2.305	10	7.1	16.37	8.3	19.13	9.8	22.59
OS-2	2.37	0.5	1.185	10	7.1	8.41	8.3	9.84	9.8	11.61
OS-3	5.55	0.5	2.775	10	7.1	19.70	8.3	23.03	9.8	27.20
OS-4	2.70	0.5	1.35	10	7.1	9.59	8.3	11.21	9.8	13.23
OS-5	1.19	0.5	0.595	10	7.1	4.22	8.3	4.94	9.8	5.83



VICINITY MAP
N.T.S.

- C-1
22.64 AC
- DRAINAGE AREA DESIGNATION
- DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



SCALE 1" = 200'

PRELIMINARY DRAINAGE PLAN PARK HILLS

LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
65.309 ACRES OR 2,844,879.13 SQ. FT.
144 SINGLE FAMILY LOTS AND
10 OPEN SPACE LOTS
SITUATED WITHIN THE
GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2022-XXX

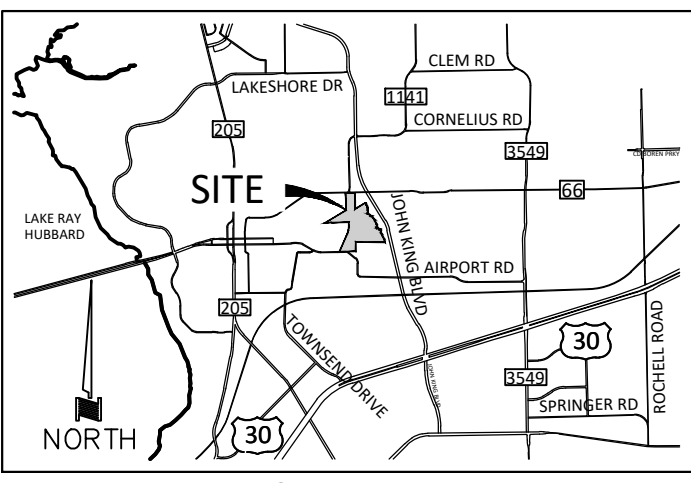
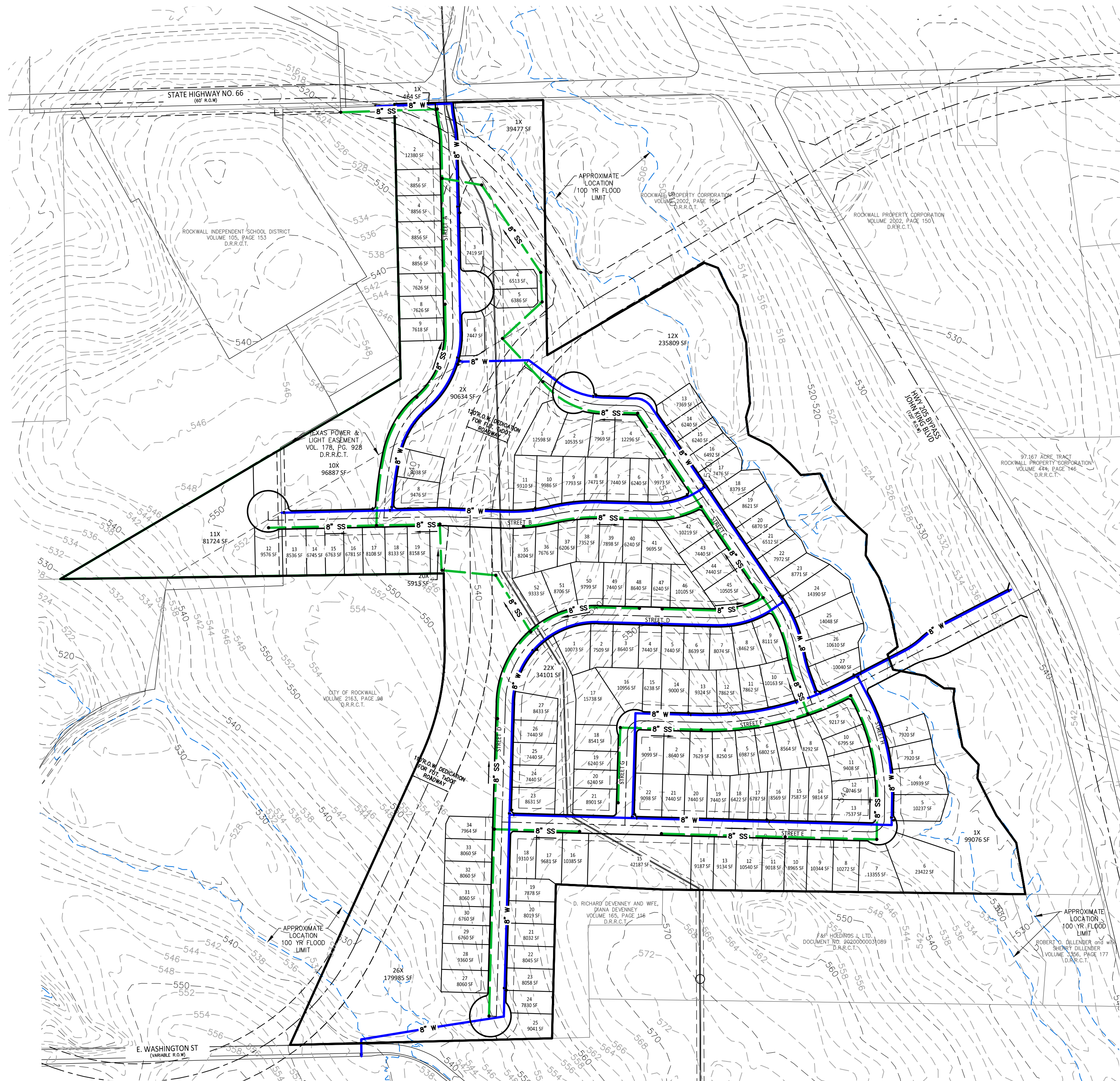
September 14, 2022

- BENCHMARKS**
- MONUMENT NO. 1
ELEVATION = XXXXX'
 - MONUMENT NO. 2
ELEVATION = XXXXX'

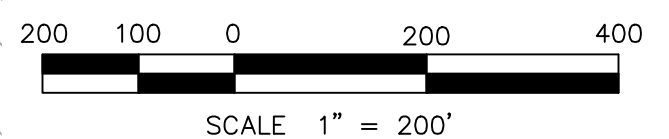
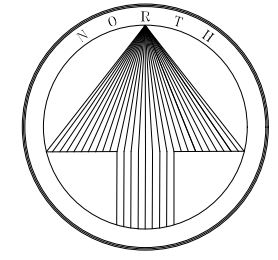
Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE

JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
 BL Building Line
 C1 Curve No.
 <CM> Control Monument
 DE Drainage Easement
 DUE Drainage Utility Easement
 Esmt Easement
 L1 Line No.
 SF Square Feet
 UE Utility Easement
 VAM Visibility Easement
 D.R.R.C.T.= Deed Records of Rockwall County, Texas



**PRELIMINARY UTILITY PLAN
 PARK HILLS**

LOTS 1-20, BLOCK A; LOTS 1-8, BLOCK B;
 LOTS 1-27, BLOCK C; LOTS 1-52, BLOCK D;
 LOTS 1-27, BLOCK E; LOTS 1-22, BLOCK F;
 65.309 ACRES OR 2,844,879.13 SQ. FT.

144 SINGLE FAMILY LOTS AND
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 GEORGE W. REDLIN SURVEY, ABSTRACT NO. 183
 CITY OF ROCKWALL,
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 P2022-XXX

September 14, 2022
 SHEET 1 OF 2

BENCHMARKS

1. MONUMENT NO. 1
 ELEVATION = XXX.XX'

2. MONUMENT NO. 2
 ELEVATION = XXX.XX'

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

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 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: P2022-048
PROJECT NAME: Master Plat of the Terraces Subdivision
SITE ADDRESS/LOCATIONS: 1649 FM 1141

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Master Plat for the Terraces Subdivision consisting of 263 single-family residential lots on a 115.804-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Approved w/ Comments

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Master Plat for the Terraces Subdivision consisting of 263 single-family residential lots on a 115.804-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2022-048) in the lower right-hand corner of all pages on future submittals.

M.4 Block A appears to have 26 lots; please correct the title block to reflect this.

M.5 Please indicate the following lots on the plat, as the title block refers to them: Lot 1, Block A; Lot 1, Block C; Lot 32, Block E.

M.6 Please include the Block with the open space lots.

M.7 Provide the proposed street names.

M.8 Please verify that the master plat matches the preliminary plat.

M.9 Please indicate the trail along SH-66 on the open space mater plan.

M.10 Provide the lot width at the build line for lots on curvilinear streets, cul-de-sacs, and eyebrows.

M.11 Indicate the population density of the proposed master plat.

M.12 Indicate the drainage areas, the existing manmade features, and provide the zoning and land use information.

M.13 Provide a statement of service that indicates that the subdivision will be served by water, wastewater, roadway, and drainage facilities that have adequate capacity.

M.14 Please review and correct all items listed by the Engineering Department.

I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on October 11, 2022, and the Parks Board Meeting will be on October 4, 2022.

I.16 The projected City Council Meeting date for this case will be October 17, 2022.

I.17 Please note that once the Master Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: - Include a deceleration lane on FM 1141 into the subdivision.
- Include a left turn lane on FM 1141 into the subdivision.
- Include a left turn lane on street H onto the SH 66.

The following comments are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- See comments on P2022-015 Preliminary Plat

Drainage Items:

- All structures must have a FFE a minimum of 2' above the adjacent 100-year water surface elevation.
- Detention is required.
- Detention ponds and floodplain must be within a drainage easement. Easement for floodplain will include an erosion hazard setback. Drainage easement shall be maintained by HOA or property owner.
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Manning's C-value is per zoning type.
- Flood Study is required to define all localized 100-yr flood plains or if you "touch" the existing floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- Need to show erosion hazard setback. See engineering design standards. Erosion hazard setback will not be in a residential lot.
- Need separate HOA Lot/Drainage Easement on east side of subdivision to collect off-site drainage and collect in ditch/channel/storm system. No Lot to lot drainage allowed.
- Need written permission to build in and around NRCS easement for Greene Lake as well as using it as a detention above the normal water surface. Will need to show NRCS easement on plans and plat. Or written confirmation from NRCS that this isn't one of their lakes.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- 12" water line to be install along SH 66 and north to tie into the existing 12" water in FM 1141(not the 8" as shown on proposed water plan)
- Sanitary sewer must be extended to the edge of property line along SH 66.

Roadway Paving Items:

- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be standard curb and gutter style. No asphalt or rock streets.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- TIA will be required for SH 66 and FM 1141 with associated review fees.
- Must meet TxDOT Driveway spacing along SH 66 and FM 1141.
- Dedicate ROW for FM 1141. 85' ROW for an M4D four lane divided roadway. Must dedicate 42.5' from the centerline if not existing.
- Dedicate ROW for SH66. 110' ROW for an P6D four lane divided roadway. Must dedicate 55' from the centerline if not existing.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved
No Comments			

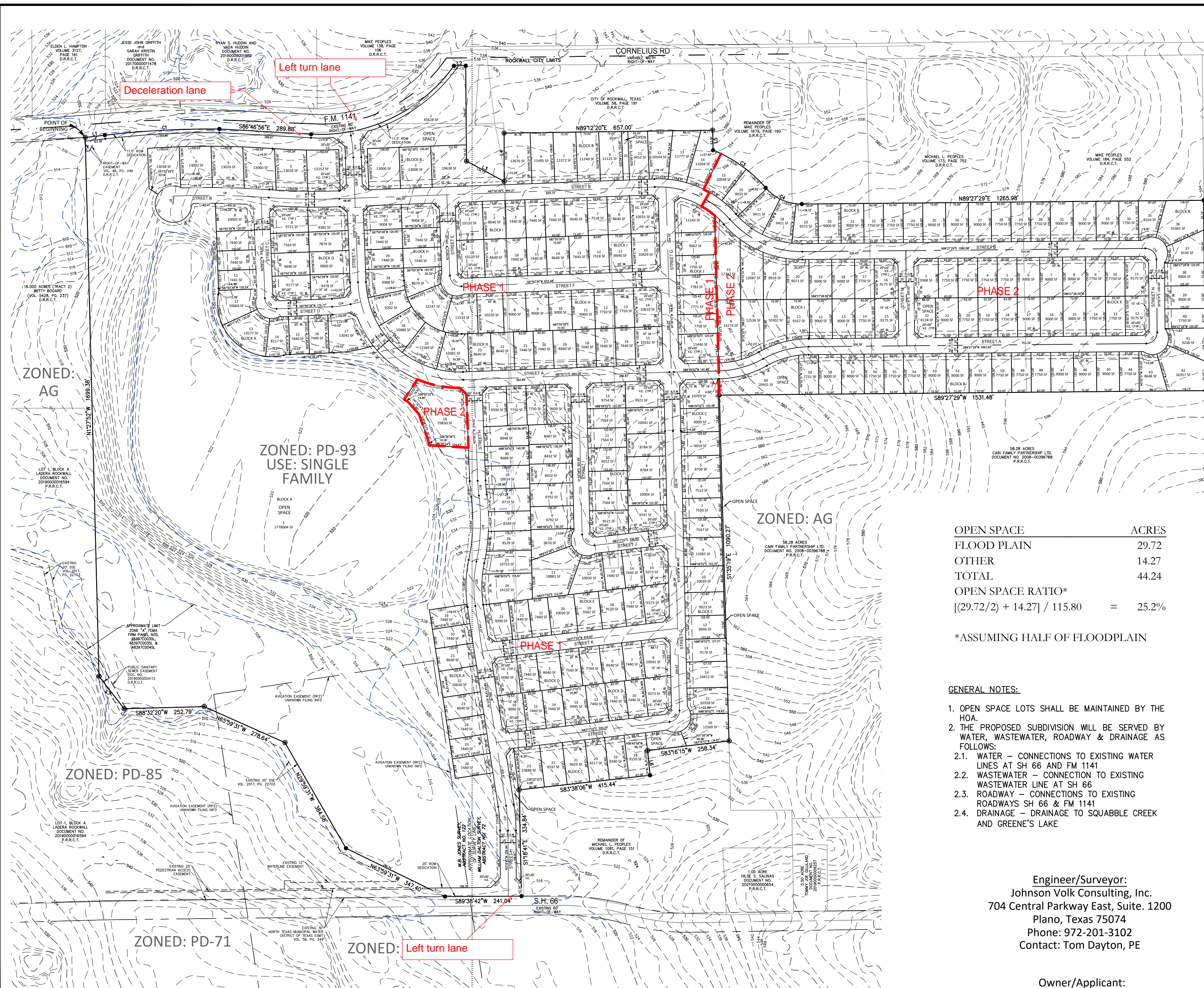
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: All streets will be considered fire apparatus access roadway and shall exceed 10% in a grade change, with a cross slope not exceeding 5%. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.

All Cul-De-Sacs shall have a 47.5-foot minimum radius/ 95-foot diameter. Slopes and cross slopes shall comply with the above limitations.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved
No Comments			



- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
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 - See comments on P2022-015 Preliminary Plat

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 - "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	14.27
TOTAL	44.24
OPEN SPACE RATIO*	$[(29.72/2) + 14.27] / 115.80 = 25.2\%$

*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

1. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
2. THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - 2.1. WATER - CONNECTIONS TO EXISTING WATER LINES AT SH 66 AND FM 1141
 - 2.2. WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT SH 66
 - 2.3. ROADWAY - CONNECTIONS TO EXISTING ROADWAYS SH 66 & FM 1141
 - 2.4. DRAINAGE - DRAINAGE TO SQUABBLE CREEK AND GREENE'S LAKE

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

P2022-048

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE)
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) † & ‡
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ‡

NOTES:

†: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
‡: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 FM 1141, Rockwall, TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King and FM 1141 South of 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-93

CURRENT USE Planned Development PD-93

PROPOSED ZONING

PROPOSED USE

ACREAGE 115.804

LOTS [CURRENT] 1

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bret L. Pedigo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1637.05 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF SEPTEMBER 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

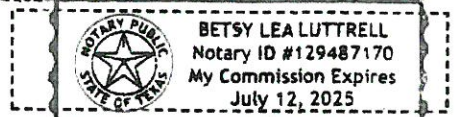
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF September, 2022

OWNER'S SIGNATURE

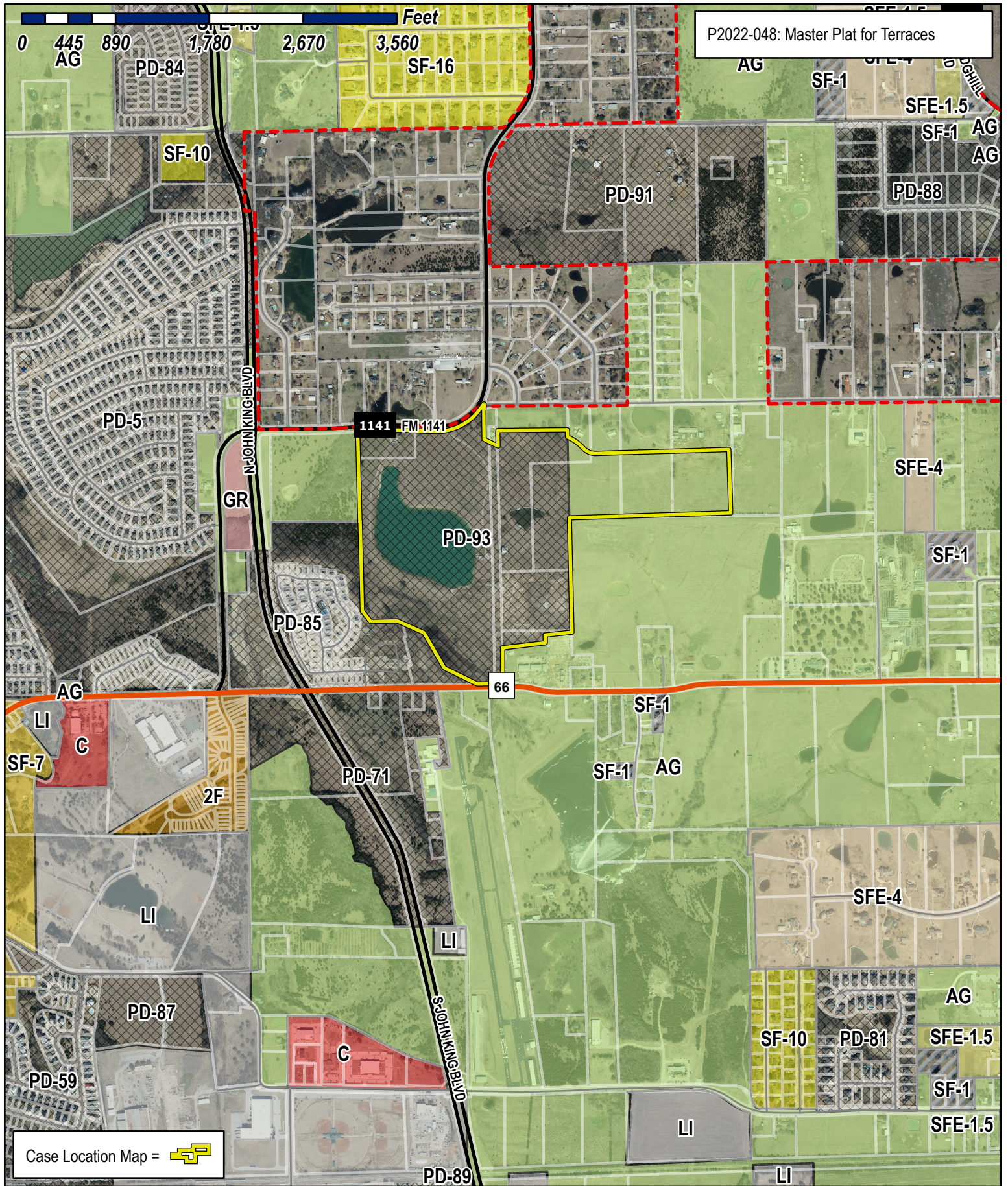
Bret L. Pedigo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Betsy Lea Luttrell



MY COMMISSION EXPIRES 07.12.2025

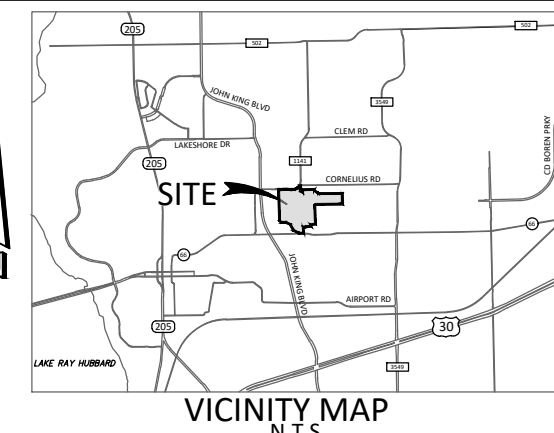


City of Rockwall

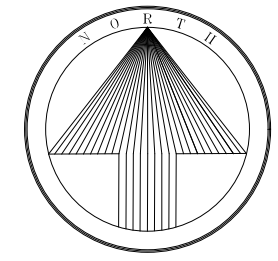
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





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SCALE 1" = 200'

MASTER PLAT TERRACES

LOTS 1-25, BLOCK A; LOTS 1-60, BLOCK B; LOTS 1-24, BLOCK C; LOTS 1-16, BLOCK D; LOTS 1-32, BLOCK E; LOTS 1-13, BLOCK F; LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H; LOTS 1-18, BLOCK I; LOTS 1-23, BLOCK J; LOTS 1-22, BLOCK K

115.804 ACRES OR 5,044,436.68 SQ. FT.
263 SINGLE FAMILY LOTS AND
8 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACTS 25-1, 26, 10-02 & 10-03 AND ALL OF TRACT 13 & 25 OF THE WILLIAM DALTON SURVEY, ABSTRACT NO. 72 AND TRACT 4 & 4-01 OF THE M.B. JONES SURVEY, ABSTRACT NO. 122

**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**

P2022-XXX
September 12, 2022

OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	14.27
TOTAL	44.24
OPEN SPACE RATIO*	
$[(29.72/2) + 14.27] / 115.80$	= 25.2%

*ASSUMING HALF OF FLOODPLAIN

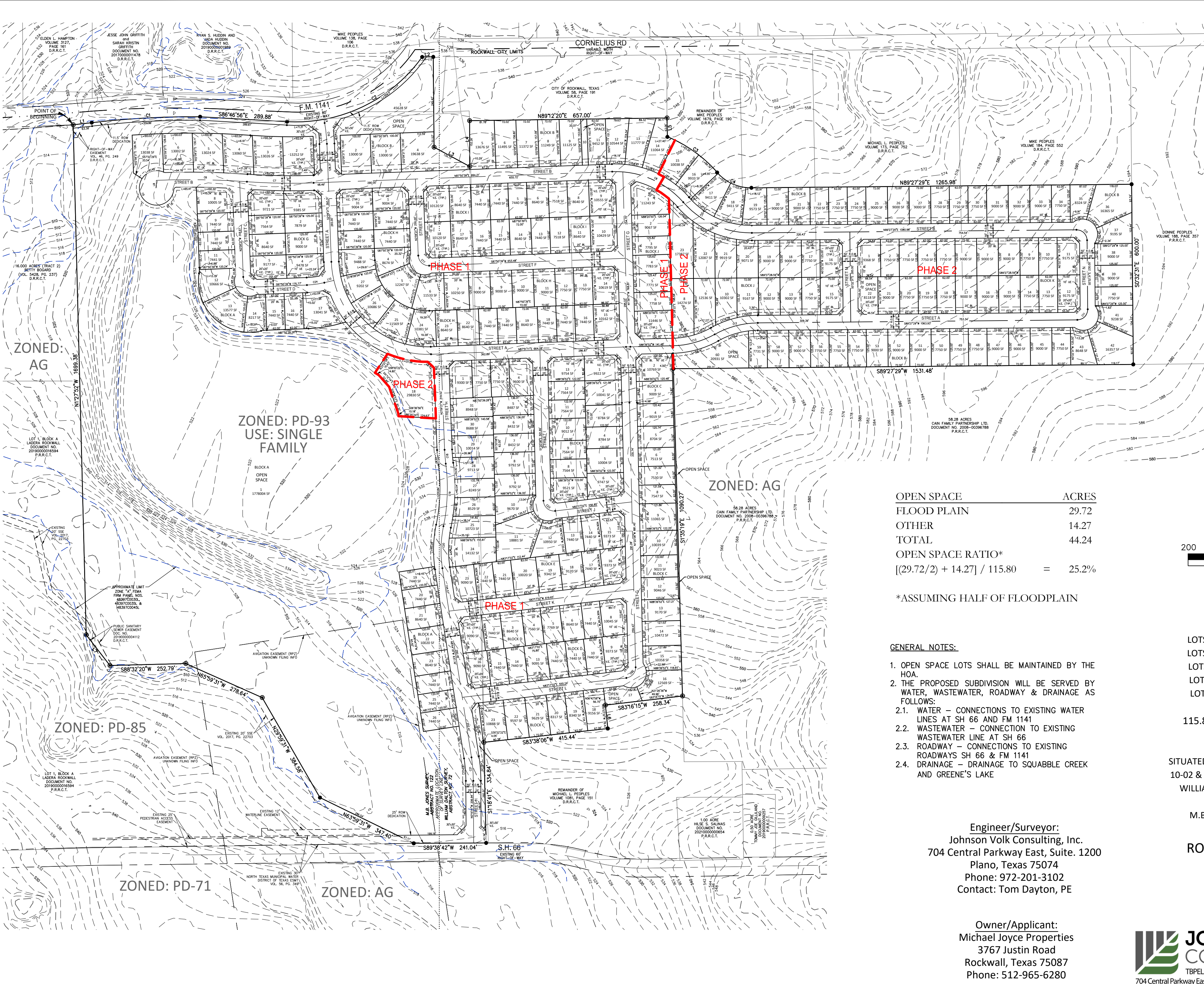
GENERAL NOTES:

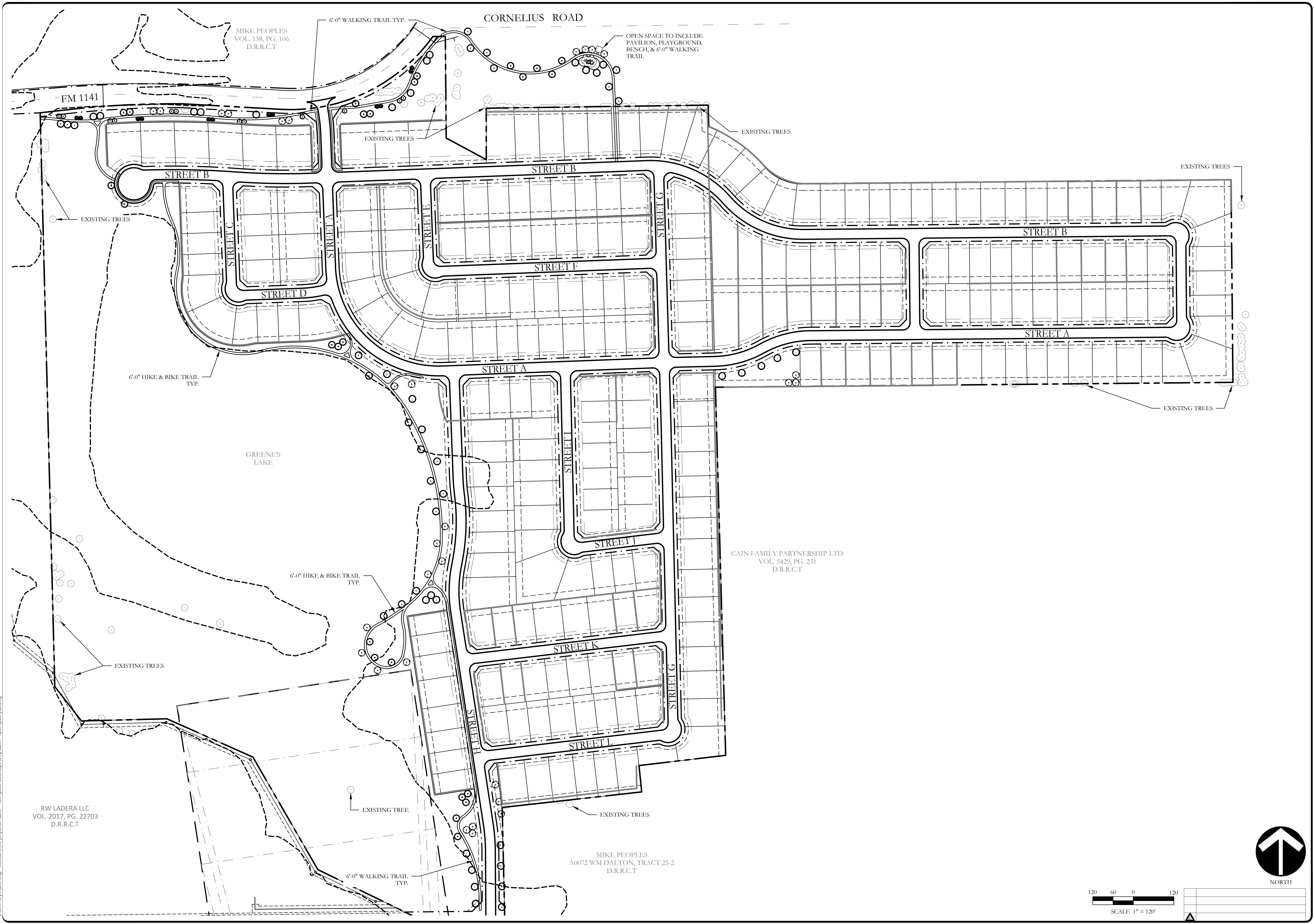
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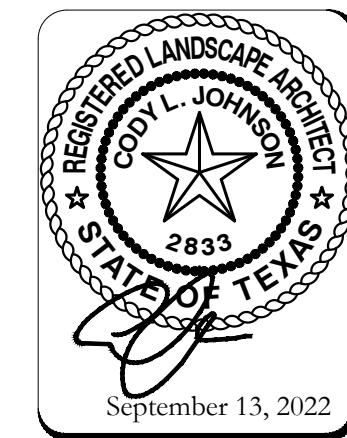
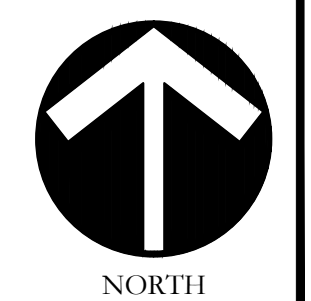
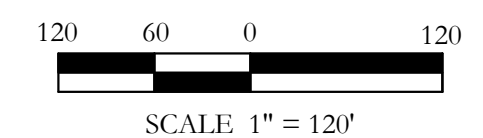
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RW LADERA LLC
 VOL. 2017, PG. 22703
 D.R.R.C.T

MIKE PEOPLES
 VOL. 138, PG. 106
 D.R.R.C.T

MIKE PEOPLES
 A0072 WM DALTON, TRACT 25-2
 D.R.R.C.T

CAIN FAMILY PARTNERSHIP LTD
 VOL. 5429, PG. 231
 D.R.R.C.T



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: P2022-049
PROJECT NAME: Preliminary Plat for the Terraces
SITE ADDRESS/LOCATIONS: 1649 FM 1141

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Preliminary Plat for the Terraces Subdivision consisting of 263 single-family residential lots on a 115.804-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Approved w/ Comments

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Preliminary Plat for the Terraces Subdivision consisting of 263 single-family residential lots on a 115.804-acre tract of land being identified as Tract 4-01 of the M. B. Jones Survey, Abstract No. 122 and Tracts 13 & 25 and a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, located south of the intersection of Cornelius Road and FM-1141.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2022-049) in the lower right-hand corner of all pages on future submittals.

M.4 Block A appears to have 26 lots; please correct the title block to reflect this.

M.5 Please indicate the following lots on the plat, as the title block refers to them: Lot 1, Block A; Lot 1, Block C; Lot 32, Block E.

M.6 Please include the Block with the open space lots.

M.7 Provide the proposed street names.

M.8 Provide the lot width at the build line for lots on curvilinear streets, cul-de-sacs, and eyebrows.

M.9 Provide the zoning and land use information.

M.10 Please cross hatch the dedication of SH-66.

M.11 Indicate the Avigation easement as Avigation Easement per this plat.

- M.12 Please provide a note that indicates that the open space shall be maintained by the HOA.
- M.13 Please make the following changes to the Tree Survey: trees 1482, 1485, and 1486 shall be mitigated in full; trees 1972 and 1975 shall be mitigated for double their size.
- M.14 Please review and correct all items listed by the Engineering Department.
- I.15 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval. The Planning and Zoning Commission Meeting for this case will be held on October 11, 2022, and the Parks Board Meeting will be on October 4, 2022.
- I.16 The projected City Council Meeting date for this case will be October 17, 2022.
- I.17 Please note that once the Master Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

- 09/21/2022: - Must ass a deceleration lane and left turn into the subdivision on FM 1141.
- Need so show and label approximate location of detention area(s).
 - Must add a left turn lane out of the subdivision onto SH 66.
 - These areas adjacent to FM 1141 must be taken into account for drainage design.
 - Open space must be taken into account for drainage design.
 - Lot to lot drainage not allowed.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements including walls.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required.
- Areas of 20 acres or more draining to a single detention pond must use the unit hydrograph method. Review fees apply.
- Manning's C-value is per zoning type.
- Flood Study is required to define all localized 100-yr flood plains or if you "touch" the existing floodplain. Review fees apply. See the City Standards of Design for flood study requirements.
- Must get a Wetlands/WOTUS study for all ponds and wetland areas.
- Need to show erosion hazard setback. See engineering design standards. Erosion hazard setback will not be in a residential lot.
- Need separate HOA Lot/Drainage Easement on east side of subdivision to collect off-site drainage and collect in ditch/channel/storm system. No Lot to lot drainage allowed.
- Need written permission to build in and around NRCS easement for Greene Lake as well as using it as a detention above the normal water surface. Will need to show NRCS easement on plans and plat. Or written confirmation from NRCS that this isn't one of their lakes.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Minimum public sewer is 8".
- 12" water line to be install along SH 66 and north to tie into the existing 12" water in FM 1141 (the proposed water plan shows tying to an existing 8"...this is not correct)
- 10' utility easements along all street frontages

Roadway Paving Items:

- All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be standard curb and gutter style. No asphalt or rock streets.
- Must install alleys at the back of the lots.
- No dead-end streets allowed. Must have a cul-de-sac or turnaround per City Standards.
- TIA will be required for SH 66 and FM 1141 with associated review fees.
- Will need a left turn lane on FM 1141 for entry into subdivision
- Must meet TxDOT Driveway spacing along SH 66 and FM 1141.
- Dedicate ROW for FM 1141. 85' ROW for an M4D four lane divided roadway. Must dedicate 42.5' from the centerline if not existing.
- Dedicate ROW for SH66. 110' ROW for an P6D four lane divided roadway. Must dedicate 55' from the centerline if not existing.
- Need to show and label all visibility clips. Check to make sure the FM 1141 visibility doesn't need to be larger due to the curvature of FM 1141

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- "Open spaces to be maintained by the property owner/HOA" add note to preliminary plat.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: All streets will be considered fire apparatus access roadway and shall exceed 10% in a grade change, with a cross slope not exceeding 5%. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.

All Cul-De-Sacs shall have a 47.5-foot minimum radius/ 95-foot diameter. Slopes and cross slopes shall comply with the above limitations.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved w/ Comments

- 09/19/2022: 1. Will need CAD (.dwg) file of road centerlines and lot lines for addressing to begin.
 2. We also will need a list of proposed street names to check for conflicts.
 (Please follow these guidelines: <http://www.rockwall.com/pz/GIS/AddressingStandards.pdf>)
 3. Tie two corners to State Plane Coordinates (North Central Texas 4202 - Grid)

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

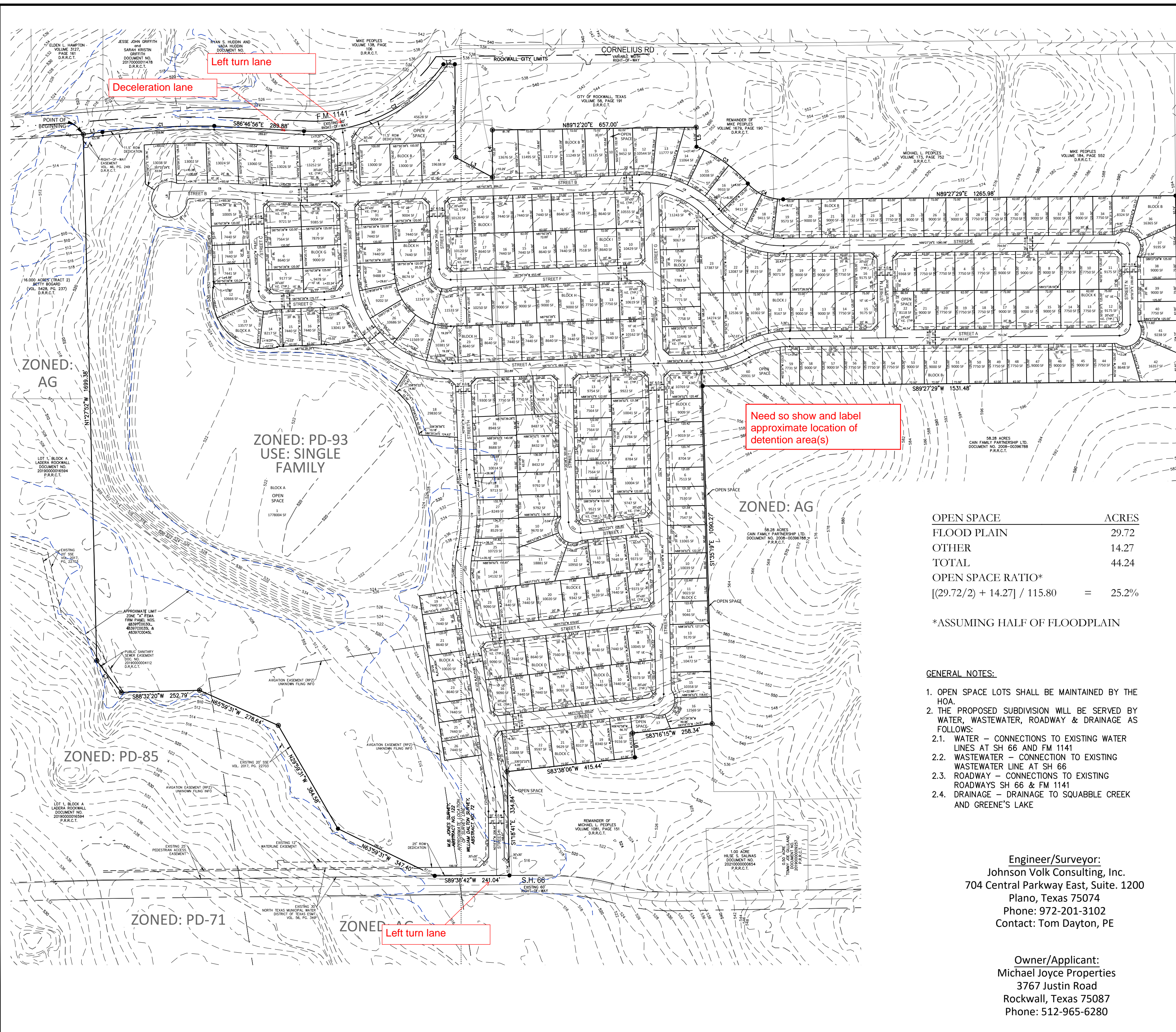
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: P2022-049 (HENRY LEE) (Preliminary Plat)
 Park District 8
 Cash In Lieu of Land: \$609.00 x 263 lots = \$160,167.00

Pro Rata Equipment Fee: $\$577.00 \times 263 \text{ lots} = \$151,751.00$

Total per lot x lots: $\$1,186.00 \times 263 \text{ lots} = \$311,918.00$

(Both fees will be retained by the developer to develop a simple 4-acre park adjacent to the property at 219 Cornelius that is owned by the City of Rockwall and will be a Park and Recreation park site. It will be designed and developed utilizing Park and Recreation specifications. The City is currently applying for a TCEQ Non Enclosed Landfill Permit since this property was a household dump / landfill in the 1950's. This project was previously submitted and approved as Vallis Green with 182 lots. The project name and number of lots have changed requiring a new submittal for approval.



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 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements including walls.
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OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	14.27
TOTAL	44.24
OPEN SPACE RATIO*	
$[(29.72/2) + 14.27] / 115.80$	= 25.2%

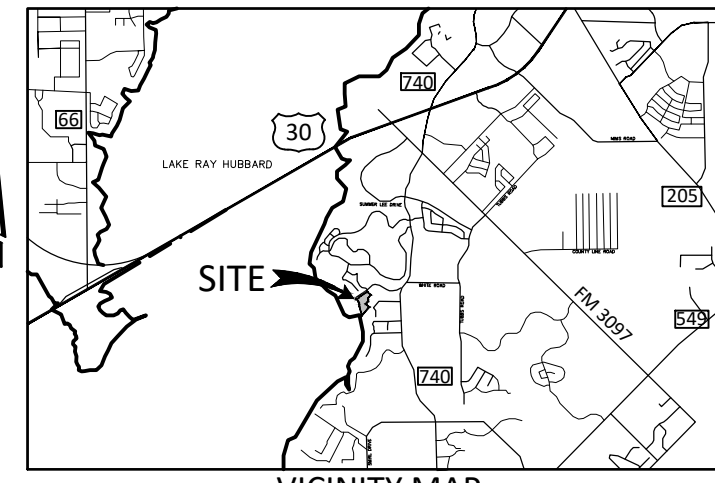
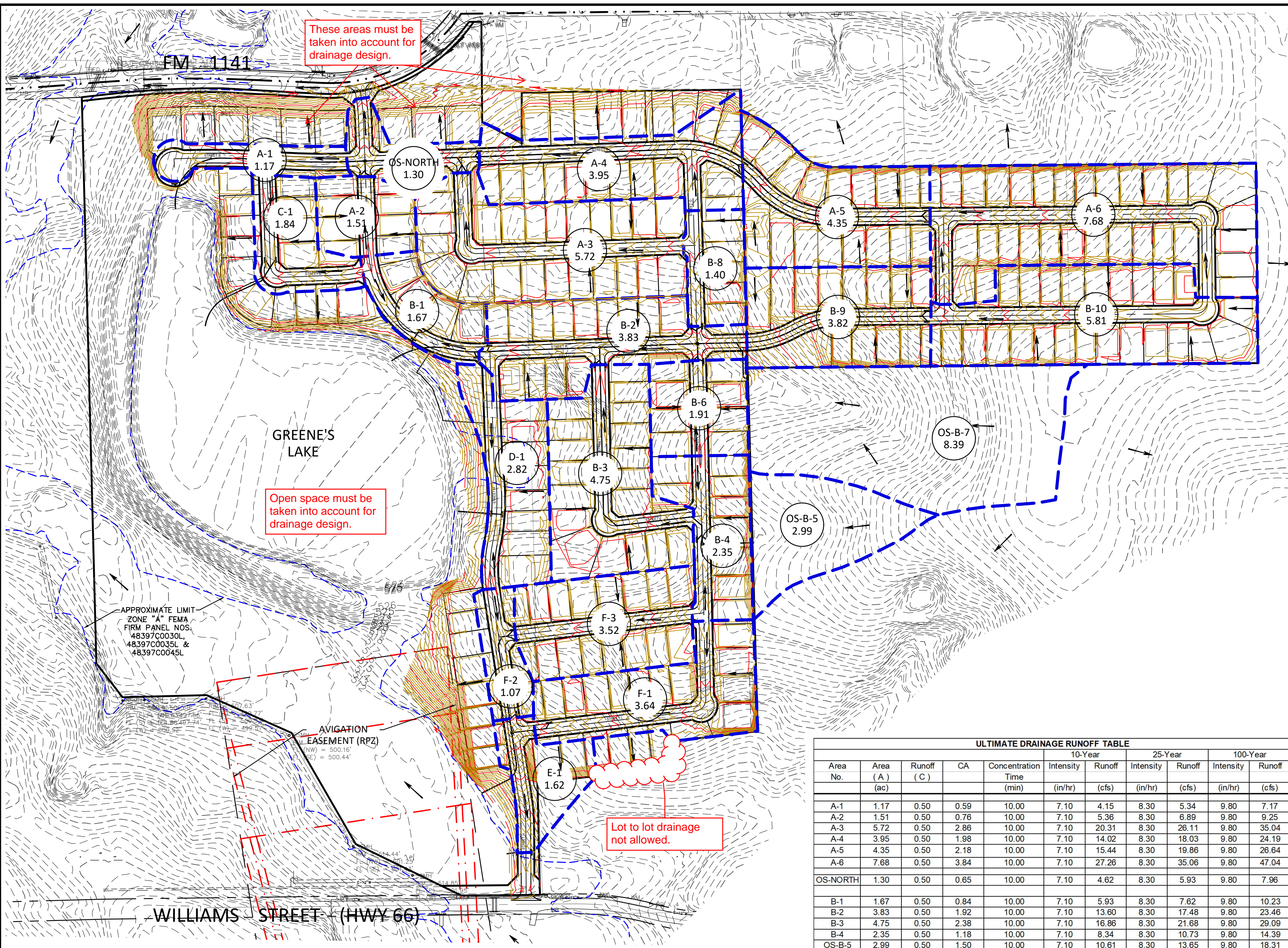
*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

1. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
2. THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - 2.1. WATER - CONNECTIONS TO EXISTING WATER LINES AT SH 66 AND FM 1141
 - 2.2. WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT SH 66
 - 2.3. ROADWAY - CONNECTIONS TO EXISTING ROADWAYS SH 66 & FM 1141
 - 2.4. DRAINAGE - DRAINAGE TO SQUABBLE CREEK AND GREENE'S LAKE

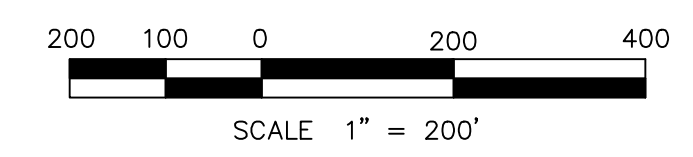
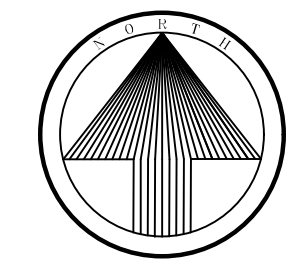
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

Owner/Applicant:
 Michael Joyce Properties
 3767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280



LEGEND

- C-1
22.64 AC DRAINAGE AREA DESIGNATION
DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR
- PROPOSED CONTOUR



**PRELIMINARY DRAINAGE PLAN
TERRACES**

LOTS 1-25, BLOCK A; LOTS 1-60, BLOCK B;
 LOTS 1-24, BLOCK C; LOTS 1-16, BLOCK D;
 LOTS 1-32, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H;
 LOTS 1-18, BLOCK I; LOTS 1-23, BLOCK J;
 LOTS 1-22, BLOCK K
 115.804 ACRES OR 5,044,436.68 SQ. FT.
 263 SINGLE FAMILY LOTS AND
 8 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
 10-02 & 10-03 AND ALL OF TRACT 13 & 25 OF THE
 WILLIAM DALTON SURVEY, ABSTRACT NO. 72
 AND TRACT 4 & 4-01 OF THE
 M.B. JONES SURVEY, ABSTRACT NO. 122
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2022-XXX
 September 09, 2022

ULTIMATE DRAINAGE RUNOFF TABLE										
Area No.	Area (A) (ac)	Runoff (C)	CA	Concentration Time (min)	10-Year		25-Year		100-Year	
					Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)
A-1	1.17	0.50	0.59	10.00	7.10	4.15	8.30	5.34	9.80	7.17
A-2	1.51	0.50	0.76	10.00	7.10	5.36	8.30	6.89	9.80	9.25
A-3	5.72	0.50	2.86	10.00	7.10	20.31	8.30	26.11	9.80	35.04
A-4	3.95	0.50	1.98	10.00	7.10	14.02	8.30	18.03	9.80	24.19
A-5	4.35	0.50	2.18	10.00	7.10	15.44	8.30	19.86	9.80	26.64
A-6	7.68	0.50	3.84	10.00	7.10	27.26	8.30	35.06	9.80	47.04
OS-NORTH	1.30	0.50	0.65	10.00	7.10	4.62	8.30	5.93	9.80	7.96
B-1	1.67	0.50	0.84	10.00	7.10	5.93	8.30	7.62	9.80	10.23
B-2	3.83	0.50	1.92	10.00	7.10	13.60	8.30	17.48	9.80	23.46
B-3	4.75	0.50	2.38	10.00	7.10	16.86	8.30	21.68	9.80	29.09
B-4	2.35	0.50	1.18	10.00	7.10	8.34	8.30	10.73	9.80	14.39
OS-B-5	2.99	0.50	1.50	10.00	7.10	10.61	8.30	13.65	9.80	18.31
B-6	1.91	0.50	0.96	10.00	7.10	6.78	8.30	8.72	9.80	11.70
OS-B-7	8.39	0.50	4.20	10.00	7.10	29.78	8.30	38.30	9.80	51.39
B-8	1.40	0.50	0.70	10.00	7.10	4.97	8.30	6.39	9.80	8.58
B-9	3.82	0.50	1.91	10.00	7.10	13.56	8.30	17.44	9.80	23.40
B-10	5.81	0.50	2.91	10.00	7.10	20.63	8.30	26.52	9.80	35.59
C-1	1.84	0.50	0.92	10.00	7.10	6.53	8.30	8.40	9.80	11.27
D-1	2.82	0.50	1.41	10.00	7.10	10.01	8.30	12.87	9.80	17.27
E-1	1.62	0.50	0.81	10.00	7.10	5.75	8.30	7.40	9.80	9.92
F-1	3.64	0.50	1.82	10.00	7.10	12.92	8.30	16.62	9.80	22.30
F-2	1.07	0.50	0.54	10.00	7.10	3.80	8.30	4.88	9.80	6.55
F-3	3.52	0.50	1.76	10.00	7.10	12.50	8.30	16.07	9.80	21.56

BENCHMARKS:
 MONUMENT NO. 1:
 XXXX
 XXXX
 MONUMENT NO. 2:
 XXXX
 XXXX

Owner/Applicant:
 MRJOYCE, LLC
 Ryan Joyce
 767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE)
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLANELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) † & ‡
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ‡

NOTES:

† IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
‡ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1649 FM 1141, Rockwall, TX 75087

SUBDIVISION ABS A0122, MB Jones, Tract 4-01

LOT

BLOCK

GENERAL LOCATION Approximately 1250 feet east of the intersection John King and FM 1141 South of 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development PD-93

CURRENT USE Planned Development PD-93

PROPOSED ZONING

PROPOSED USE

ACREAGE 115.804

LOTS [CURRENT]

LOTS [PROPOSED] 263

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER TM Terraces, LLC

APPLICANT Michael Joyce Properties

CONTACT PERSON Bret Pedigo

CONTACT PERSON Ryan Joyce

ADDRESS 4416 W. Lovers Lane, Suite 200

ADDRESS 767 Justin Road

CITY, STATE & ZIP Dallas, TX 76209

CITY, STATE & ZIP Rockwall, TX 75087

PHONE

PHONE 512-965-6280

E-MAIL

E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bret L. Pedigo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1937.06 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF September 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

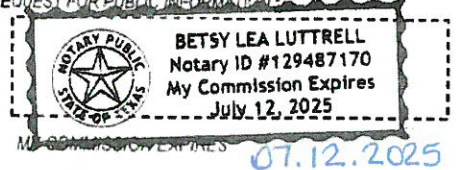
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF September, 2022

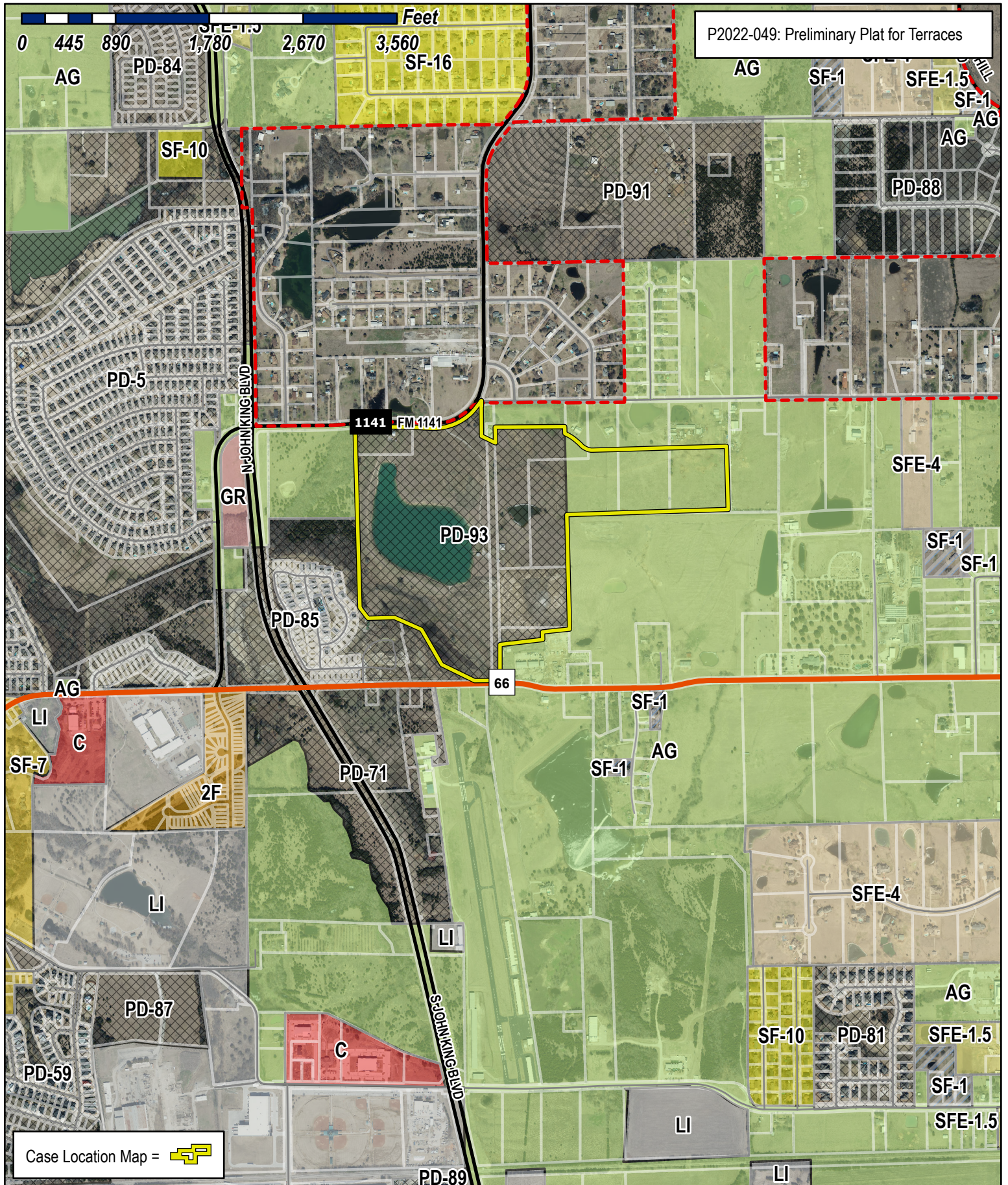
OWNER'S SIGNATURE

Bret L. Pedigo

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Betsy Lea Luttrell





P2022-049: Preliminary Plat for Terraces

Case Location Map = 

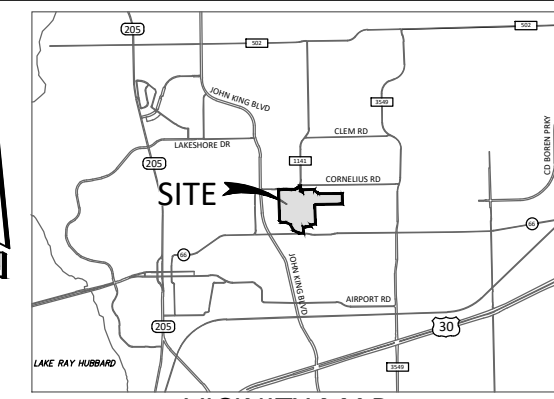


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

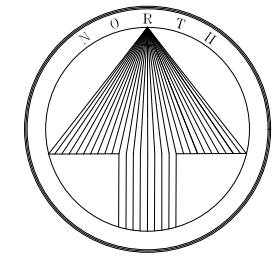
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
 - AC Acre
 - BL Building Line
 - C1 Curve No.
 - <CM> Control Monument
 - DE Drainage Easement
 - DUE Drainage Utility Easement
 - Esmt Easement
 - L1 Line No.
 - SF Square Feet
 - UE Utility Easement
 - VE Visibility Easement
 - D.R.R.C.T.= Deed Records of Rockwall County, Texas



SCALE 1" = 200'

**PRELIMINARY PLAT
TERRACES**

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LOTS 1-24, BLOCK C; LOTS 1-16, BLOCK D;
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SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
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WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2022-XXX
September 12, 2022
SHEET 1 OF 2

OPEN SPACE	ACRES
FLOOD PLAIN	29.72
OTHER	14.27
TOTAL	44.24
OPEN SPACE RATIO*	
$[(29.72/2) + 14.27] / 115.80$	= 25.2%

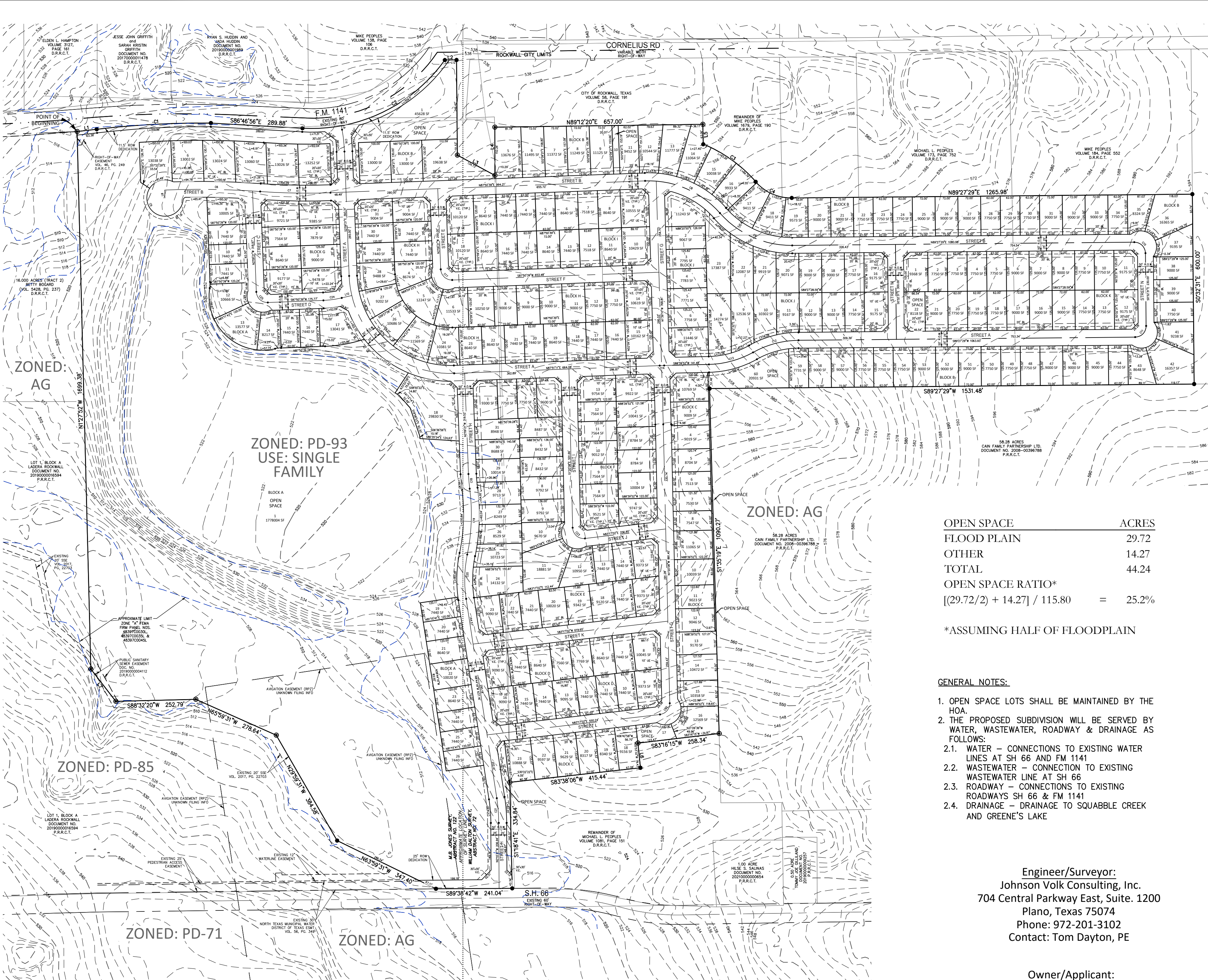
*ASSUMING HALF OF FLOODPLAIN

GENERAL NOTES:

1. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
2. THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - 2.1. WATER - CONNECTIONS TO EXISTING WATER LINES AT SH 66 AND FM 1141
 - 2.2. WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT SH 66
 - 2.3. ROADWAY - CONNECTIONS TO EXISTING ROADWAYS SH 66 & FM 1141
 - 2.4. DRAINAGE - DRAINAGE TO SQUABBLE CREEK AND GREENE'S LAKE

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280



ZONED:
AG

ZONED: PD-93
USE: SINGLE
FAMILY

ZONED: AG

ZONED: PD-85

ZONED: PD-71

ZONED: AG

LEGAL DESCRIPTION:

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72 and the M.B. JONES SURVEY, ABSTRACT NO. 122, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 173, Page 752, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 184, Page 522, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike L. Peoples, as recorded in Volume 850, Page 15, Deed Records, Rockwall County, Texas and being part of that tract of land described as 0.64 Acre Tract in Deed to Mike Peoples, as recorded in Volume 138, Page 106, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Mike Peoples, as recorded in Volume 1679, Page 190, Deed Records, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 1081, Page 151, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the south line of Farm to Market Road No. 1141, an 80 foot right-of-way, for the northwest corner of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE Easterly, with said south line, the following four (4) courses and distances:

North 83 degrees 33 minutes 49 seconds East, a distance of 62.35 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the right having a central angle of 07 degrees 20 minutes, a radius of 2,824.93 feet and a chord bearing and distance of North 86 degrees 53 minutes 49 seconds East, 361.32 feet;

Easterly, with said curve to the right, an arc distance of 361.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

South 86 degrees 46 minutes 56 seconds East, a distance of 289.88 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a curve to the left having a central angle of 57 degrees 36 minutes 49 seconds, a radius of 517.68 feet and a chord bearing and distance of North 64 degrees 24 minutes 40 seconds East, 498.90 feet;

Northeasterly, with said curve to the left, an arc distance of 520.55 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the intersection of said south line with the south line of Cornelius Road, a 60 foot right-of-way;

THENCE North 89 degrees 31 minutes 25 seconds East, leaving said south line of Farm to Market Road No. 1141 and with said south line of Cornelius Road, a distance of 37.01 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 00 degrees 29 minutes 15 seconds East, leaving said south line and generally with an existing fence, a distance of 300.96 feet to a fence corner post found for corner;

THENCE South 61 degrees 44 minutes 36 seconds East, generally with an existing fence, a distance of 134.73 feet to a fence corner post found for corner;

THENCE North 00 degrees 05 minutes 20 seconds West, generally with an existing fence, a distance of 152.26 feet to a fence corner post found for an exterior ell corner of that tract of land described in Deed to City of Rockwall, Texas, as recorded in Volume 58, Page 191, Deed Records, Rockwall County, Texas;

THENCE North 89 degrees 12 minutes 20 seconds East, with the south line of said City of Rockwall, Texas tract and generally with an existing fence, a distance of 657.00 feet to a fence corner post found for the southeast corner of said City of Rockwall, Texas tract;

THENCE South 01 degrees 28 minutes 22 seconds East, a distance of 63.06 feet to a point for corner at the beginning of a non-tangent curve to the right having a central angle of 26 degrees 09 minutes 34 seconds, a radius of 450.00 feet and a chord bearing and distance of South 54 degrees 21 minutes 52 seconds East, 203.68 feet;

THENCE Southeasterly, with said curve to the right, an arc distance of 205.46 feet to a point for corner at the beginning of a reverse curve to the left having a central angle of 49 degrees 15 minutes 27 seconds, a radius of 150.00 feet and a chord bearing and distance of South 65 degrees 54 minutes 48 seconds East, 125.02 feet;

THENCE North 89 degrees 27 minutes 29 seconds East, a distance of 1,265.98 feet to a point for corner;

THENCE South 00 degrees 32 minutes 31 seconds East, a distance of 600.00 feet to a point for corner;

THENCE South 89 degrees 27 minutes 29 seconds West, a distance of 1,531.48 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE South 01 degrees 35 minutes 19 seconds East, a distance of 1,090.27 feet to a fence corner post found for corner in the common east line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and west line of said Cain Family Partnership Ltd. tract;

THENCE South 83 degrees 16 minutes 15 seconds West, leaving said common line and generally with an existing fence, a distance of 258.34 feet to a fence corner post found for corner;

THENCE South 05 degrees 53 minutes 32 seconds East, generally with an existing fence, a distance of 78.43 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE South 83 degrees 38 minutes 06 seconds West, a distance of 415.44 feet to a fence corner post found for corner in the common west line of said Michael L. Peoples tract recorded in Volume 1081, Page 151 and east line of said Mike L. Peoples tract recorded in Volume 850, Page 15;

THENCE South 01 degrees 18 minutes 41 seconds East, with said common line, a distance of 334.84 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set in the north line of State Highway No. 66, a variable width right-of-way, for the common southeast corner of said Mike L. Peoples tract recorded in Volume 850, Page 15 and southwest corner of said Michael L. Peoples tract recorded in Volume 1081, Page 151;

THENCE South 89 degrees 38 minutes 42 seconds West, with said north line, a distance of 241.04 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the southeast corner of Lot 1, Block A of LADERA ROCKWALL, an Addition to the City of Rockwall, Rockwall County, Texas according to the Plat thereof recorded in Document No. 20190000016594, Plat Records, Rockwall County, Texas;

THENCE Northwesterly, with the north line of said Lot 1, the following five (5) courses and distances:

North 63 degrees 59 minutes 31 seconds West, leaving said north line of State Highway No. 66, a distance of 347.40 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

North 29 degrees 59 minutes 31 seconds West, a distance of 384.58 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 65 degrees 59 minutes 31 seconds West, a distance of 278.64 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

South 88 degrees 32 minutes 20 seconds West, a distance of 252.79 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found for corner;

North 37 degrees 46 minutes 31 seconds West, a distance of 128.78 feet to a 1-inch red boundary marker stamped "G&A MCADAMS CO" found in the west line of said Mike L. Peoples tract recorded in Volume 850, Page 15 for an interior ell corner of said Lot 1;

THENCE North 01 degrees 27 minutes 52 seconds West, with said west line, a distance of 1,699.38 feet to the POINT OF BEGINNING and containing 115.804 acres of land, more or less.

SURVEYOR'S CERTIFICATE:

To MRJOYCE, LLC; MIKE L. PEOPLES; ALLEGIANCE TITLE COMPANY; and TITLE RESOURCES GUARANTY COMPANY:

I, Ryan S. Reynolds, a Registered Professional Land Surveyor in the State Of Texas, do hereby certify that this plat is based on an actual on the ground survey made under my direct supervision and all corners are monumented as shown hereon. Except as shown, there are no visible encroachments, conflicts or protrusions apparent on the ground.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385

SURVEYED ON THE GROUND: FEBRUARY 28, 2022

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	361.57	2824.93	007°20'00"	361.32	N86° 53' 49"E
C2	520.55	517.68	057°36'49"	498.90	N64° 24' 40"E
C3	205.46	450.00	026°09'34"	203.68	S54° 21' 52"E
C4	128.96	150.00	049°15'27"	125.02	S65° 54' 48"E
C5	206.84	57.50	206°06'05"	112.03	S70° 18' 45"E
C6	302.10	2615.00	006°37'09"	301.94	N89° 09' 35"W
C7	222.86	2025.00	006°18'20"	222.74	S89° 00' 11"E
C8	266.36	300.00	050°52'16"	257.70	N66° 43' 13"W
C9	257.91	300.00	049°15'27"	250.04	S65° 54' 48"E
C10	54.98	35.00	090°00'00"	49.50	S45° 32' 31"E
C11	54.98	35.00	090°00'00"	49.50	S44° 27' 29"W
C12	150.13	300.00	028°40'22"	148.57	S75° 07' 18"W
C13	145.98	300.00	027°52'46"	144.54	N74° 43' 30"E
C14	14.32	1000.00	000°49'13"	14.32	S88° 15' 16"W
C15	502.66	320.00	090°00'01"	452.55	S47° 09' 21"E
C16	69.85	500.00	008°00'17"	69.80	N06° 09' 29"W
C17	54.98	35.00	090°00'00"	49.50	S47° 09' 21"E
C18	46.57	500.00	005°20'11"	46.55	S04° 49' 26"E
C19	209.21	625.00	019°10'45"	208.24	N02° 05' 51"E
C20	140.82	395.00	020°25'33"	140.07	S01° 28' 27"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C21	78.53	535.00	008°24'38"	78.46	N04° 32' 00"W
C22	51.69	35.00	084°37'10"	47.12	N40° 58' 27"E
C23	58.26	35.00	095°22'50"	51.77	S49° 01' 33"E
C24	58.61	300.00	011°11'35"	58.51	N82° 14' 52"E
C25	54.98	35.00	090°00'00"	49.50	S47° 09' 21"E

Line Table		
Line	Length	Direction
L1	62.35	N83° 33' 49"E
L2	37.01	N89° 31' 25"E
L3	134.73	S61° 44' 36"E
L4	152.26	N0° 05' 20"W
L5	63.06	S1° 28' 22"E
L6	78.43	S5° 53' 32"E
L7	128.78	N37° 46' 31"W
L8	25.18	N2° 26' 57"W
L9	12.35	S10° 09' 37"E
L10	32.71	S76° 39' 04"W
L11	37.01	N89° 31' 25"E
L12	37.01	N89° 31' 25"E

SCHEDULE B NOTES:

10e. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 256, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10f. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 267, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10g. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 33, PAGE 268, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10h. EASEMENT TO TEXAS POWER & LIGHT RECORDED IN VOLUME 40, PAGE 193, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10i. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 45, PAGE 266, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10j. EASEMENT TO STATE OF TEXAS RECORDED IN VOLUME 46, PAGE 249, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

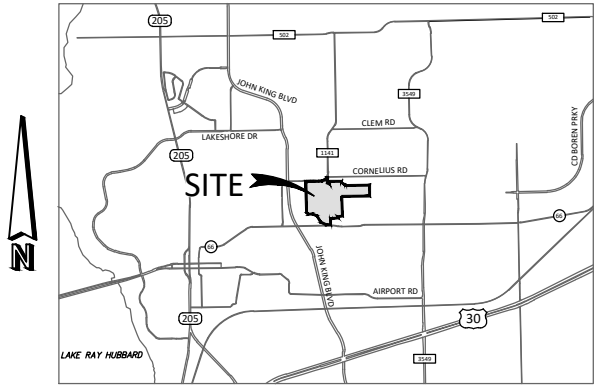
10k. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 199, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10l. EASEMENT TO NORTH TEXAS MUNICIPAL WATER DISTRICT RECORDED IN VOLUME 54, PAGE 394, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (DESCRIPTION TOO VAGUE TO LOCATE)

10m. EASEMENT TO CITY OF ROCKWALL RECORDED IN DOCUMENT NO. 2019-4112, DEED RECORDS, ROCKWALL COUNTY, TEXAS. (AS SHOWN ON SURVEY)

Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE



VICINITY MAP
N.T.S.

NOTES:

1. BASIS OF BEARINGS DERIVED FROM THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD83, NORTH CENTRAL ZONE. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.

2. THE SUBJECT TRACT LIES WITHIN ZONE X (UNSHADED), DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AND ZONE A, DEFINED AS "SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON COMMUNITY PANEL NOS. 48397C0030L AND 48397C0035L, DATED SEPTEMBER 26, 2008 FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS.

3. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN TITLE RESOURCES GUARANTY COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 22135356-10GH, EFFECTIVE DATE FEBRUARY 16, 2022 AND ISSUED FEBRUARY 22, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

4. VISIBLE IMPROVEMENTS/UTILITIES WERE NOT LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

5. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

6. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

7. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

8. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED, AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.

**PRELIMINARY PLAT
TERRACES**

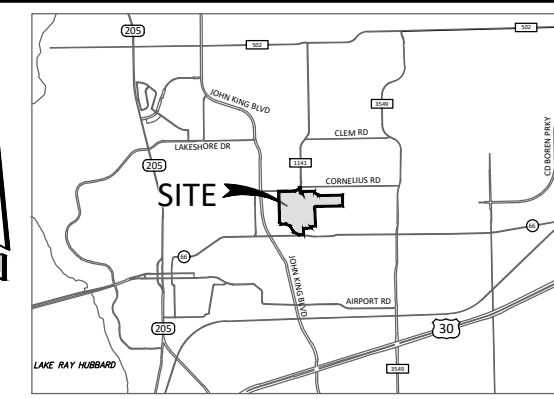
LOTS 1-25, BLOCK A; LOTS 1-60, BLOCK B;
LOTS 1-24, BLOCK C; LOTS 1-16, BLOCK D;
LOTS 1-32, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-8, BLOCK G; LOTS 1-31, BLOCK H;
LOTS 1-18, BLOCK I; LOTS 1-23, BLOCK J;
LOTS 1-22, BLOCK K

115.804 ACRES OR 5,044,436.68 SQ. FT.
263 SINGLE FAMILY LOTS AND
8 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
10-02 & 10-03 AND ALL OF TRACT 13 & 25 OF THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2022-XXX
September 12, 2022
SHEET 2 OF 2

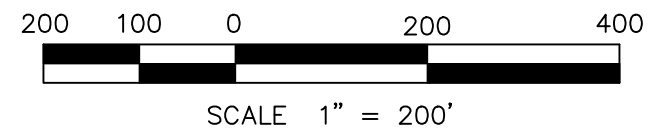
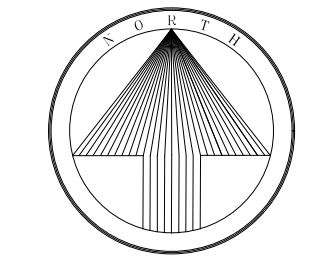


JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T. = Deed Records of Rockwall County, Texas



**PRELIMINARY UTILITY PLAN
TERRACES**

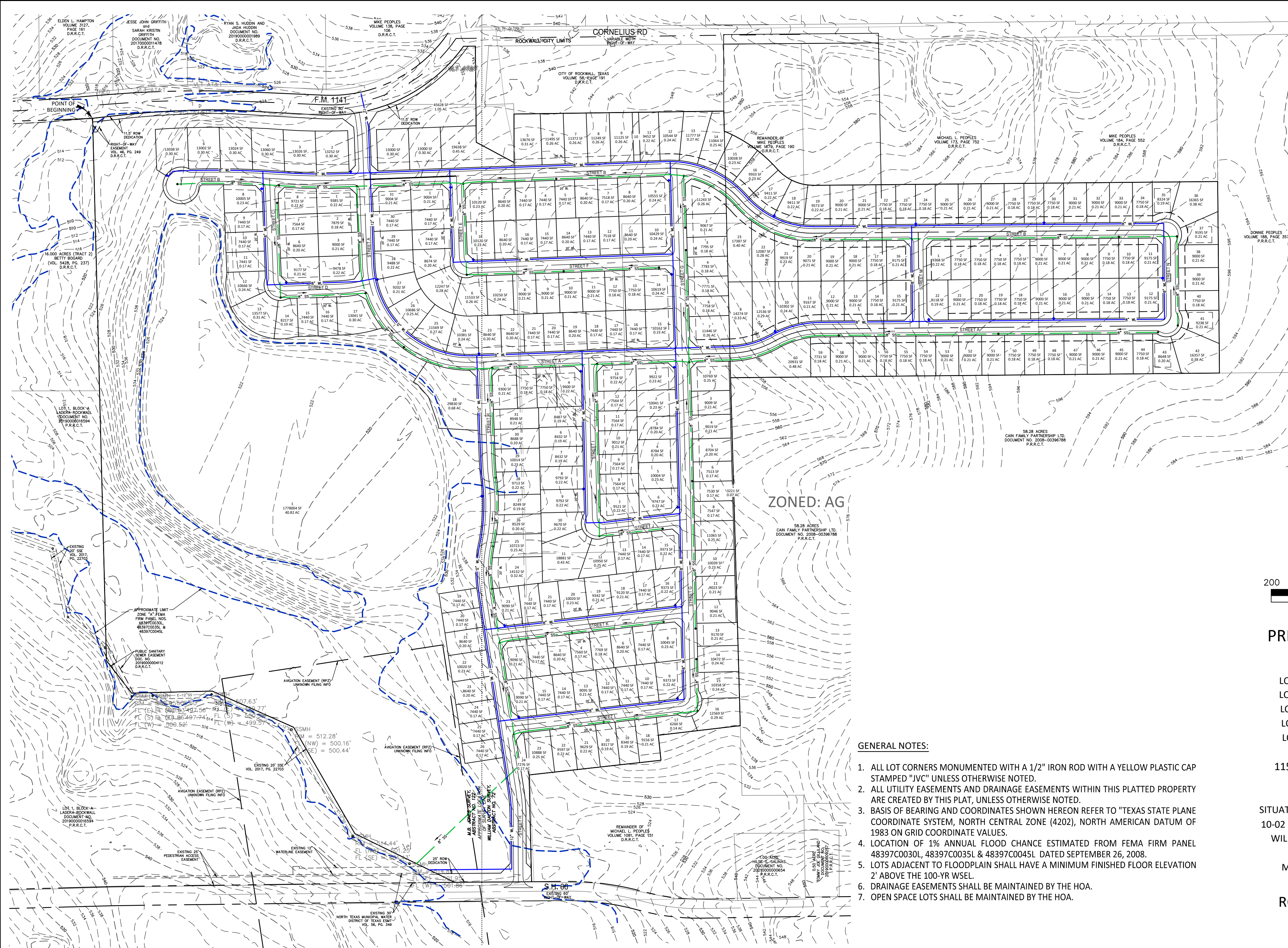
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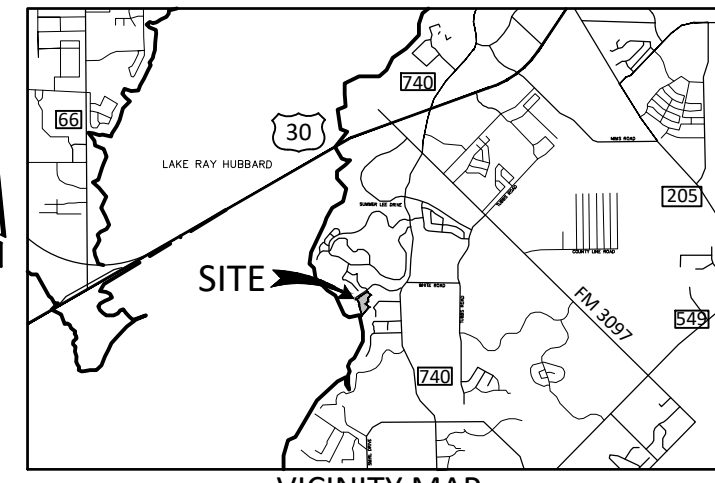
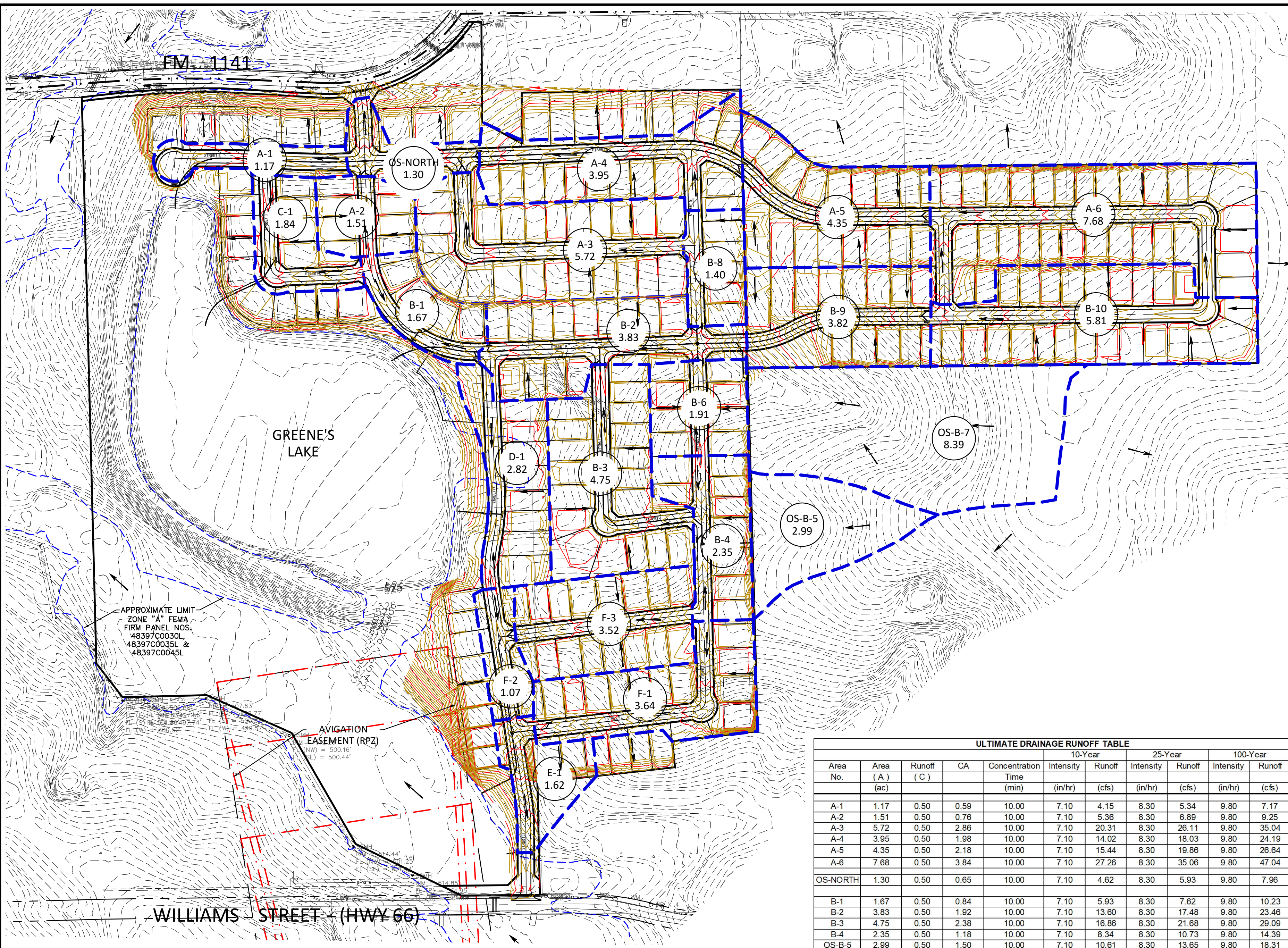
GENERAL NOTES:

1. ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
2. ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
3. BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
4. LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0030L, 48397C0035L & 48397C0045L. DATED SEPTEMBER 26, 2008.
5. LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
6. DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
7. OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Michael Joyce Properties
3767 Justin Road
Rockwall, Texas 75087
Phone: 512-965-6280

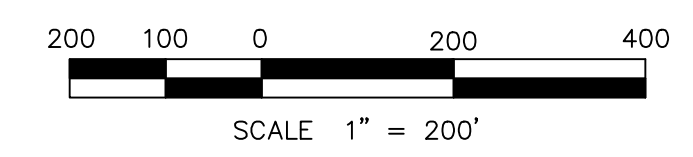
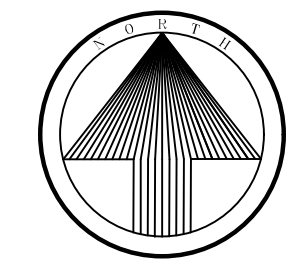
Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Joel Richey, PE





LEGEND

- C-1
22.64 AC DRAINAGE AREA DESIGNATION
DRAINAGE AREA SIZE (AC.)
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR
- PROPOSED CONTOUR



**PRELIMINARY DRAINAGE PLAN
TERRACES**

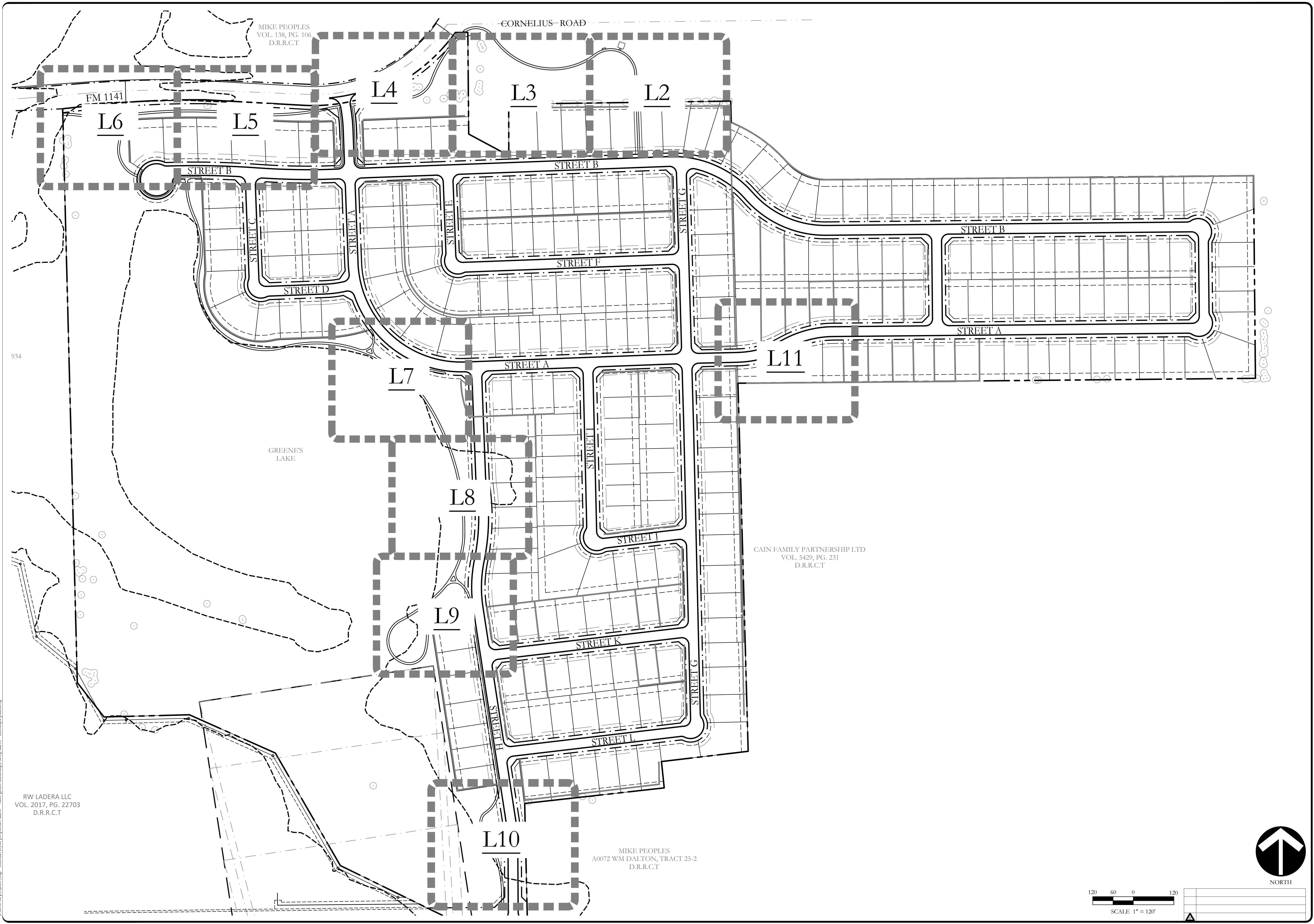
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 AND TRACT 4 & 4-01 OF THE
 M.B. JONES SURVEY, ABSTRACT NO. 122
 CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS
 P2022-XXX
 September 09, 2022

ULTIMATE DRAINAGE RUNOFF TABLE										
Area No.	Area (A) (ac)	Runoff (C)	CA	Concentration Time (min)	10-Year		25-Year		100-Year	
					Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)	Intensity (in/hr)	Runoff (cfs)
A-1	1.17	0.50	0.59	10.00	7.10	4.15	8.30	5.34	9.80	7.17
A-2	1.51	0.50	0.76	10.00	7.10	5.36	8.30	6.89	9.80	9.25
A-3	5.72	0.50	2.86	10.00	7.10	20.31	8.30	26.11	9.80	35.04
A-4	3.95	0.50	1.98	10.00	7.10	14.02	8.30	18.03	9.80	24.19
A-5	4.35	0.50	2.18	10.00	7.10	15.44	8.30	19.86	9.80	26.64
A-6	7.68	0.50	3.84	10.00	7.10	27.26	8.30	35.06	9.80	47.04
OS-NORTH	1.30	0.50	0.65	10.00	7.10	4.62	8.30	5.93	9.80	7.96
B-1	1.67	0.50	0.84	10.00	7.10	5.93	8.30	7.62	9.80	10.23
B-2	3.83	0.50	1.92	10.00	7.10	13.60	8.30	17.48	9.80	23.46
B-3	4.75	0.50	2.38	10.00	7.10	16.86	8.30	21.68	9.80	29.09
B-4	2.35	0.50	1.18	10.00	7.10	8.34	8.30	10.73	9.80	14.39
OS-B-5	2.99	0.50	1.50	10.00	7.10	10.61	8.30	13.65	9.80	18.31
B-6	1.91	0.50	0.96	10.00	7.10	6.78	8.30	8.72	9.80	11.70
OS-B-7	8.39	0.50	4.20	10.00	7.10	29.78	8.30	38.30	9.80	51.39
B-8	1.40	0.50	0.70	10.00	7.10	4.97	8.30	6.39	9.80	8.58
B-9	3.82	0.50	1.91	10.00	7.10	13.56	8.30	17.44	9.80	23.40
B-10	5.81	0.50	2.91	10.00	7.10	20.63	8.30	26.52	9.80	35.59
C-1	1.84	0.50	0.92	10.00	7.10	6.53	8.30	8.40	9.80	11.27
D-1	2.82	0.50	1.41	10.00	7.10	10.01	8.30	12.87	9.80	17.27
E-1	1.62	0.50	0.81	10.00	7.10	5.75	8.30	7.40	9.80	9.92
F-1	3.64	0.50	1.82	10.00	7.10	12.92	8.30	16.62	9.80	22.30
F-2	1.07	0.50	0.54	10.00	7.10	3.80	8.30	4.88	9.80	6.55
F-3	3.52	0.50	1.76	10.00	7.10	12.50	8.30	16.07	9.80	21.56

BENCHMARKS:
 MONUMENT NO. 1:
 XXXX
 XXXX
 MONUMENT NO. 2:
 XXXX
 XXXX

Owner/Applicant:
 MRJOYCE, LLC
 Ryan Joyce
 767 Justin Road
 Rockwall, Texas 75087
 Phone: 512-965-6280

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite 1200
 Plano, Texas 75074
 Phone: 972-201-3100
 Contact: Tom Dayton, PE



MIKE PEOPLES
VOL. 138, PG. 106
D.R.R.C.T

FM 1141

CORNELIUS ROAD

GREENE'S
LAKE

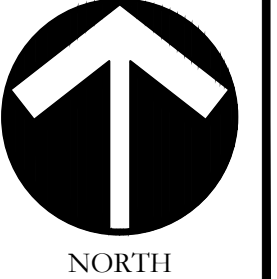
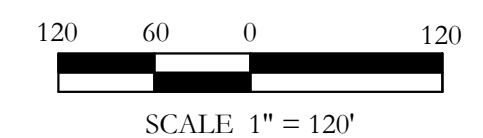
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VOL. 5429, PG. 231
D.R.R.C.T

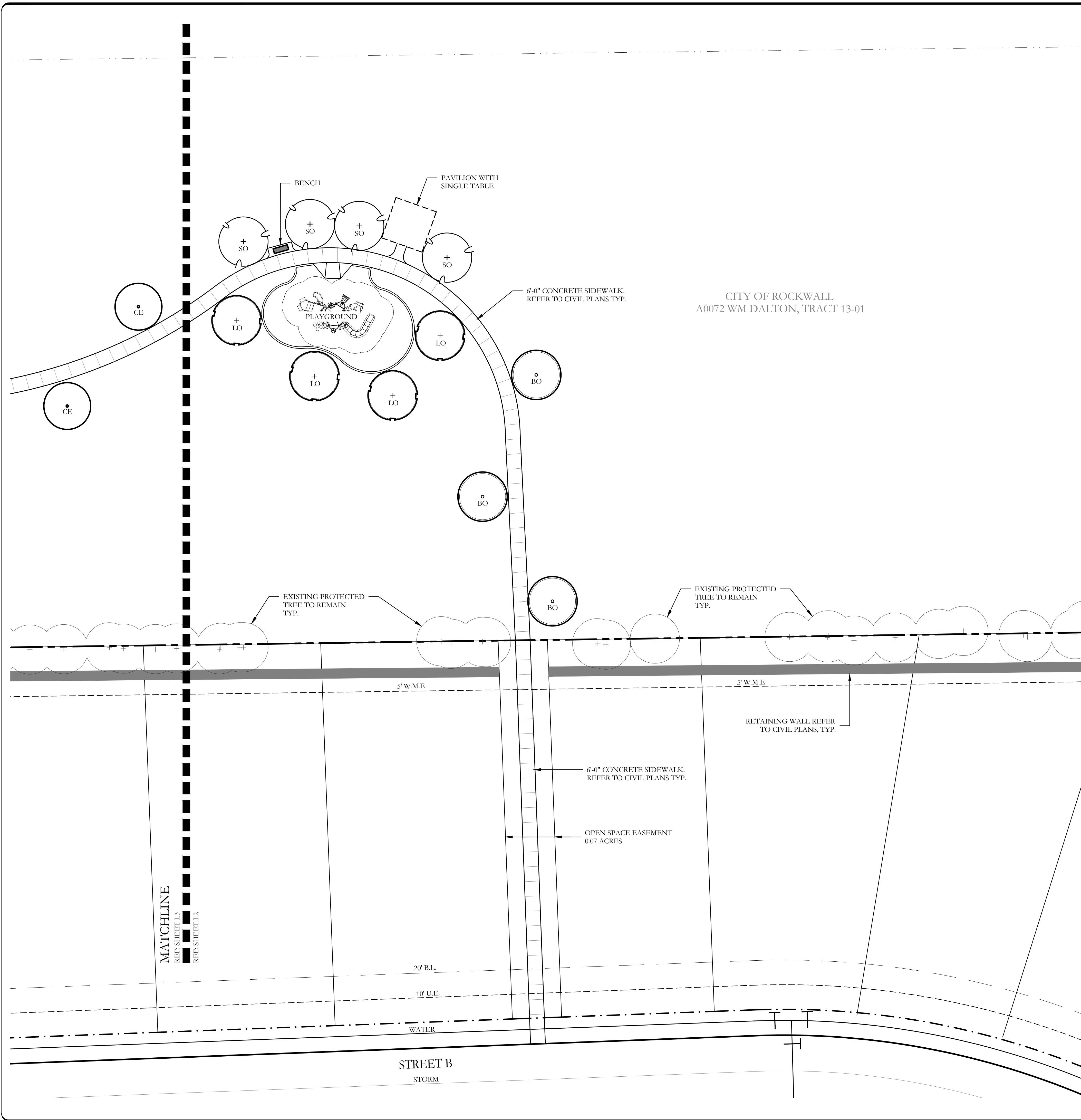
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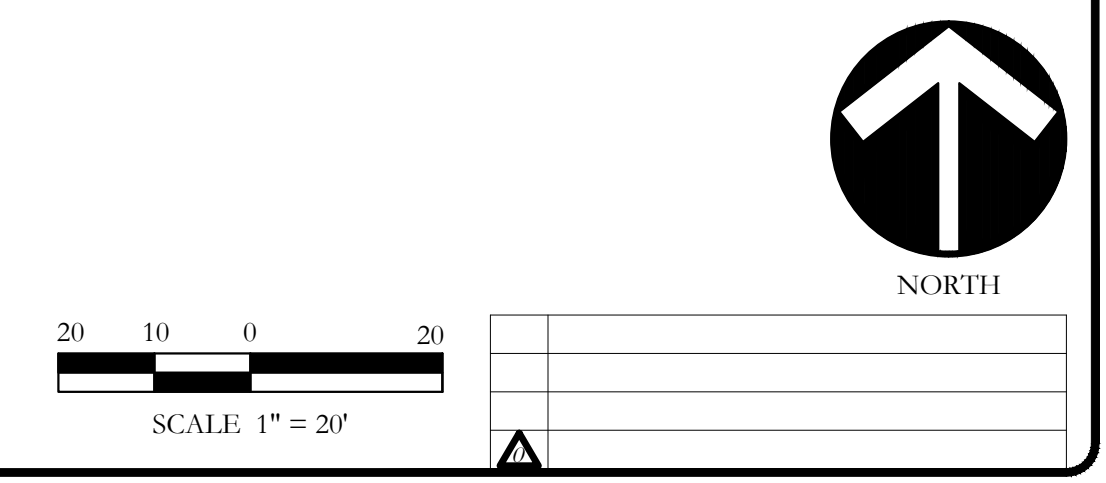
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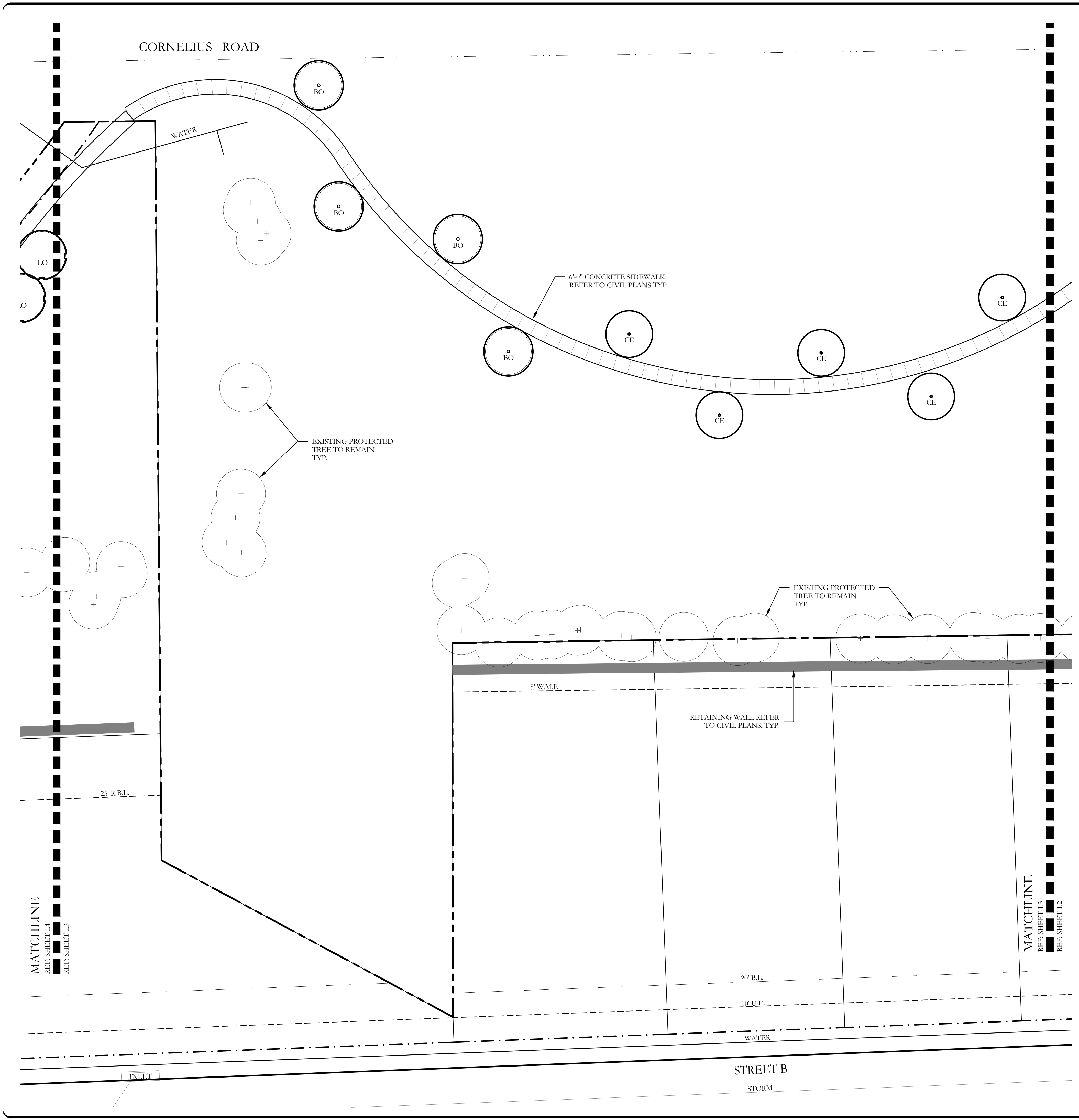
934





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN





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MATCHLINE
 REF: SHEET L4
 REF: SHEET L3

MATCHLINE
 REF: SHEET L3
 REF: SHEET L2

25' R.B.L.

5' W.M.E.

RETAINING WALL REFER
 TO CIVIL PLANS, TYP.

20' B.L.

10' U.L.

WATER

STREET B
 STORM

CORNELIUS ROAD

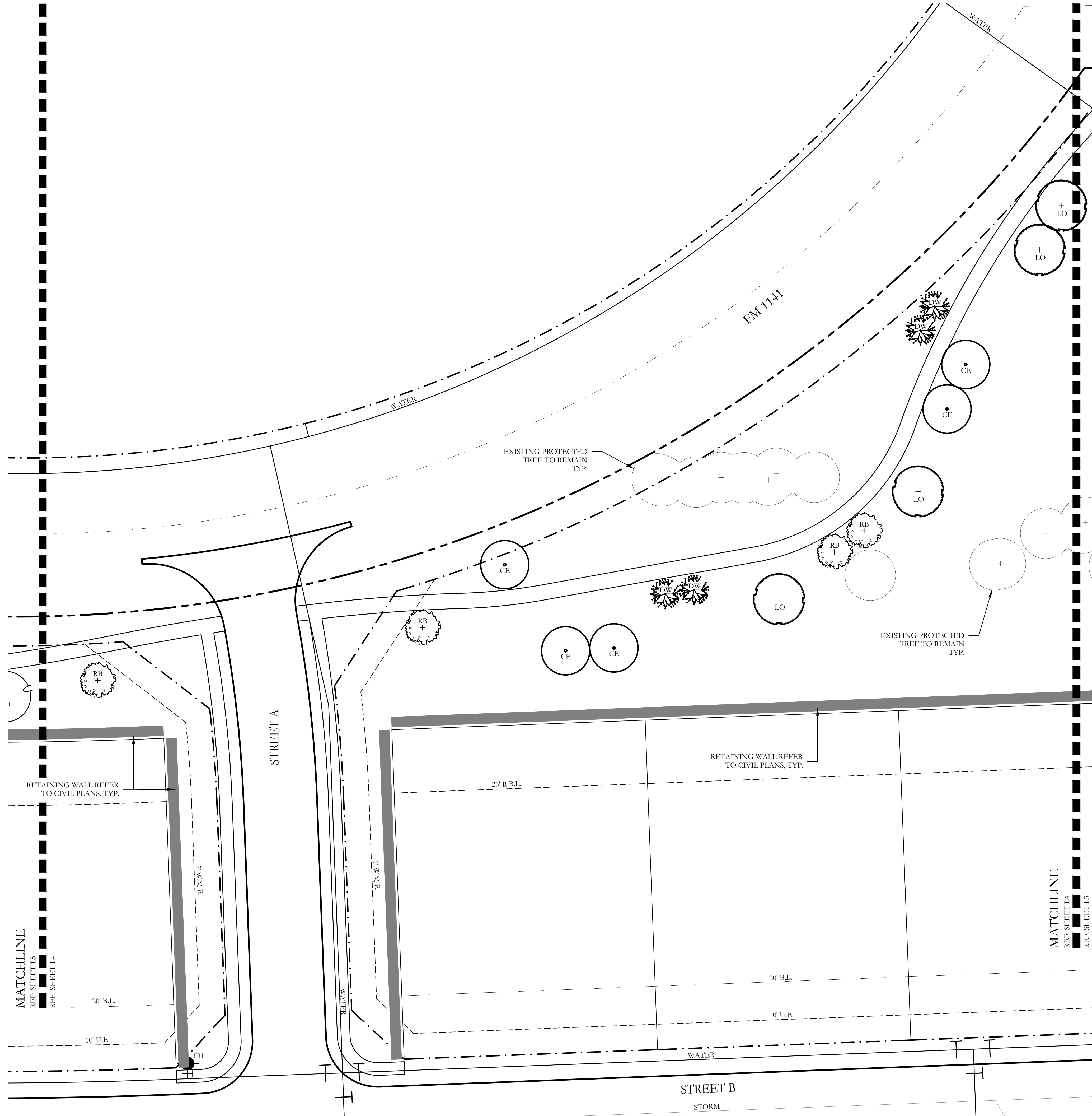
WATER

6-0" CONCRETE SIDEWALK.
 REFER TO CIVIL PLANS TYP.

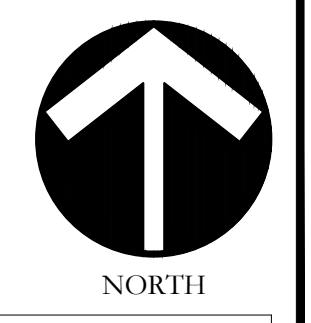
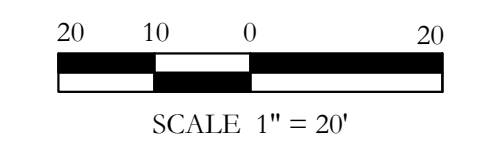
EXISTING PROTECTED
 TREE TO REMAIN
 TYP.

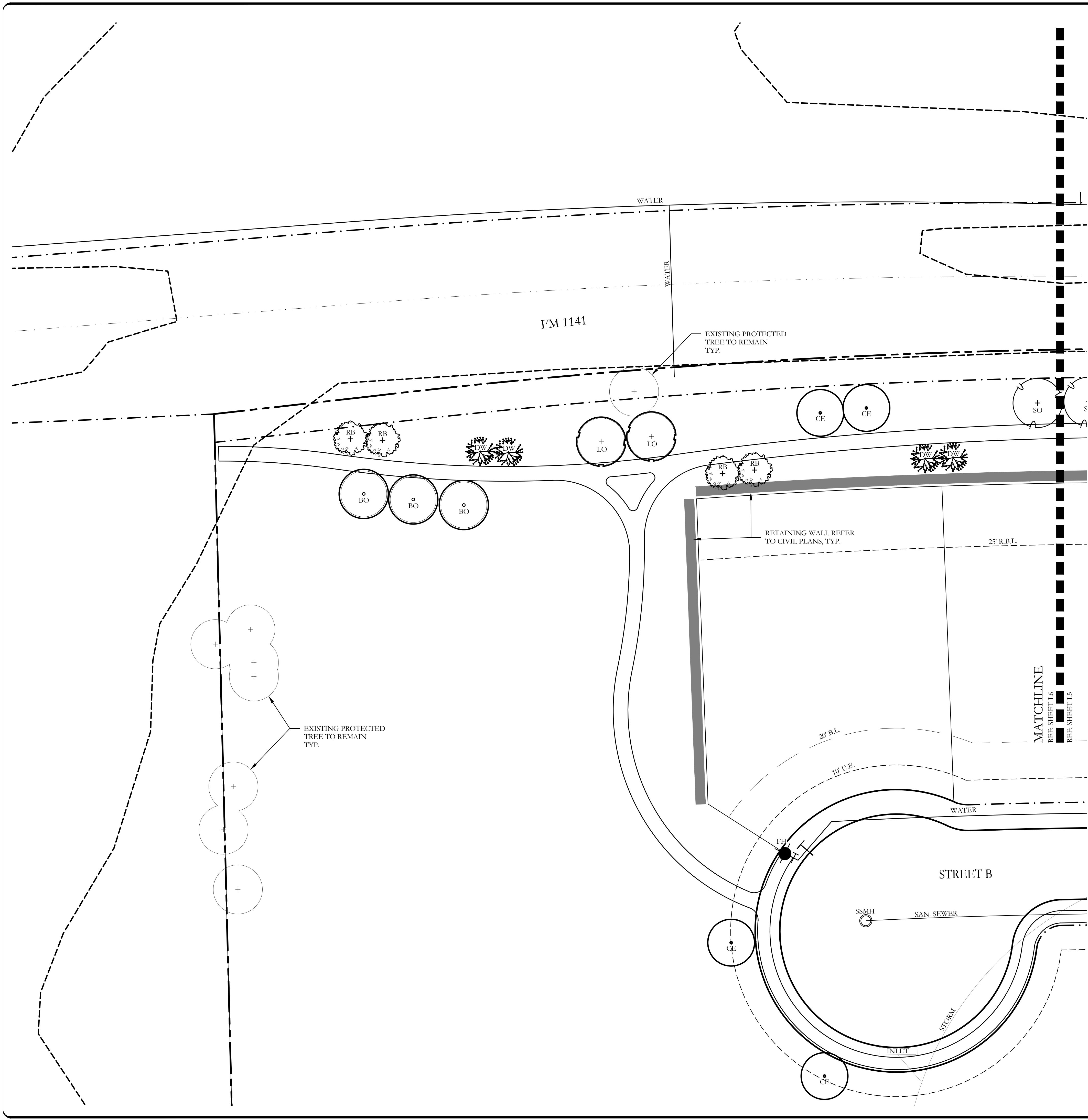
EXISTING PROTECTED
 TREE TO REMAIN
 TYP.

INLET

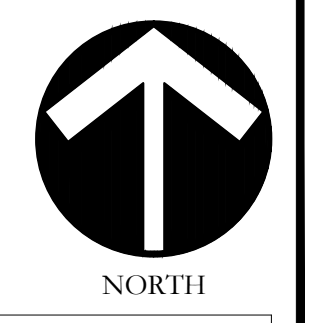
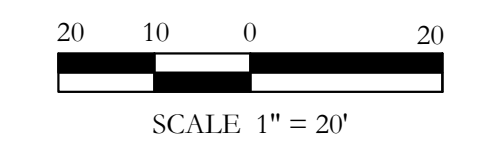


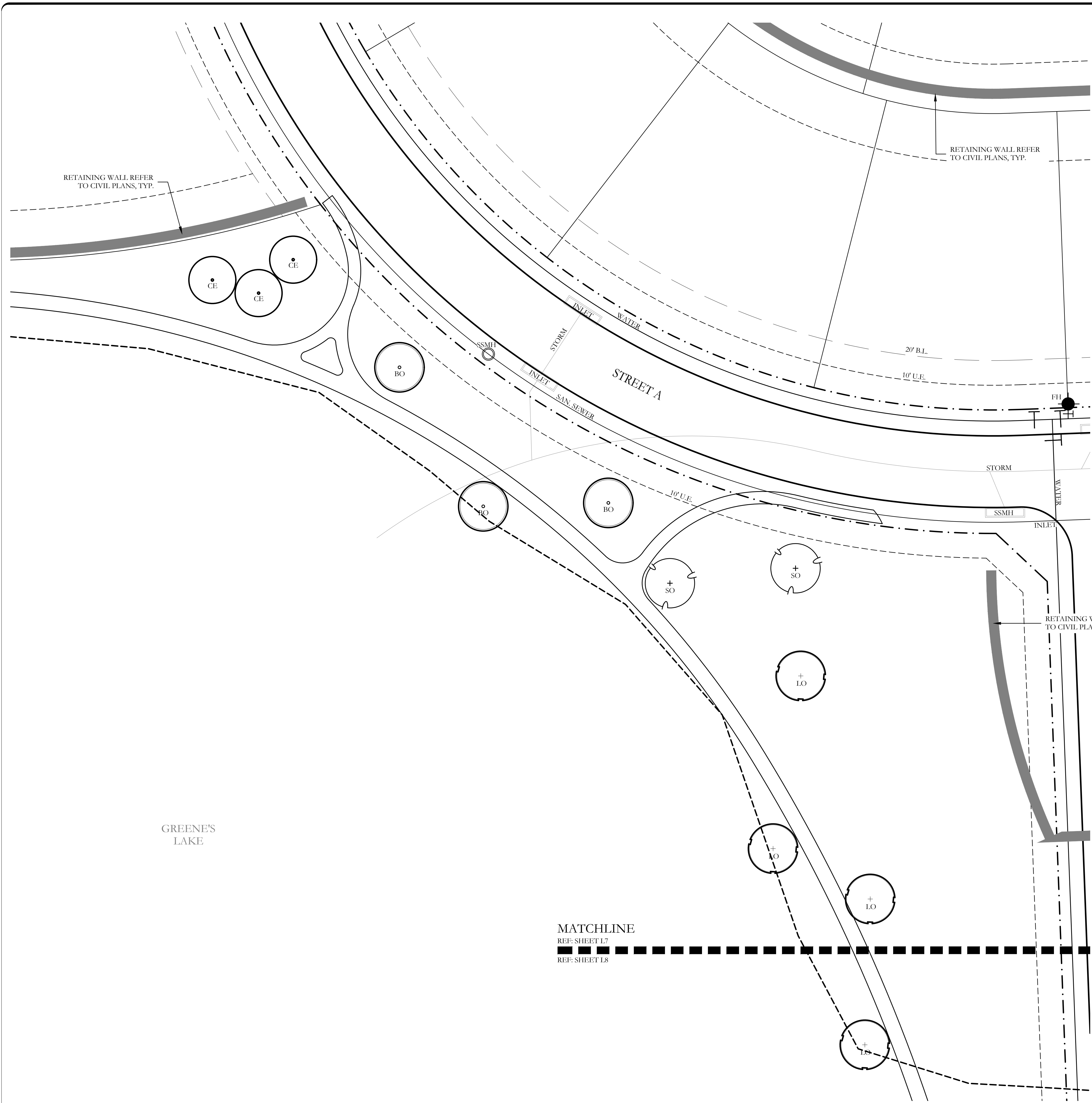
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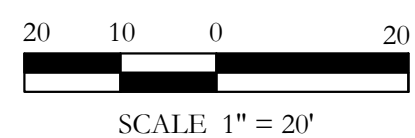
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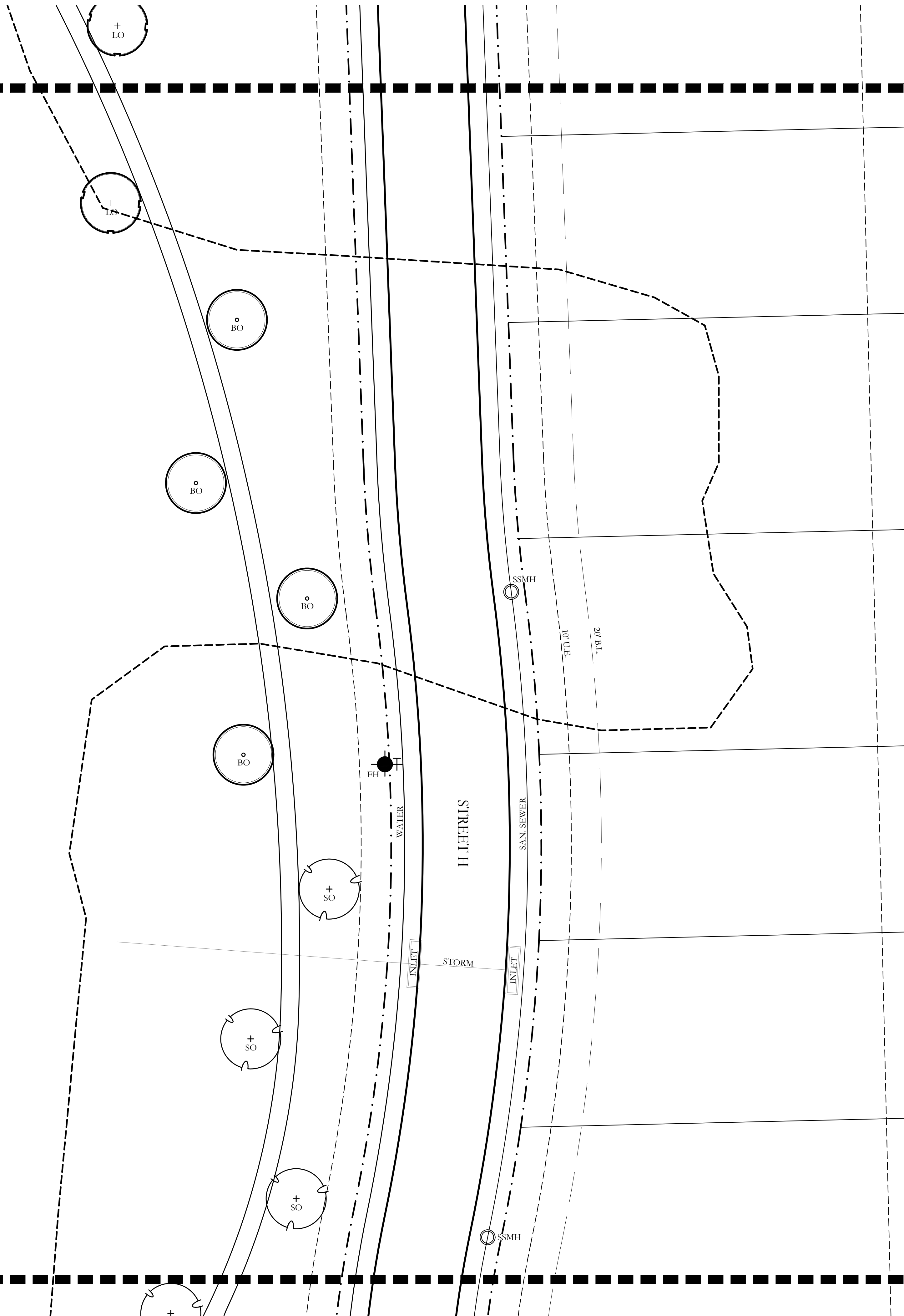
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 REF: SHEET L8



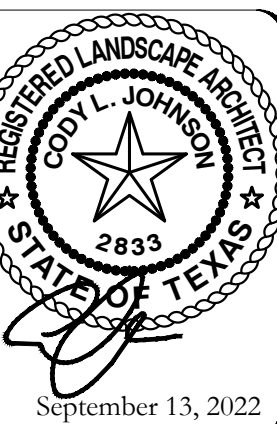
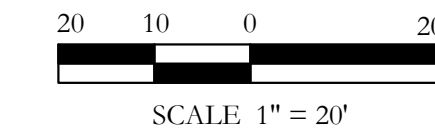
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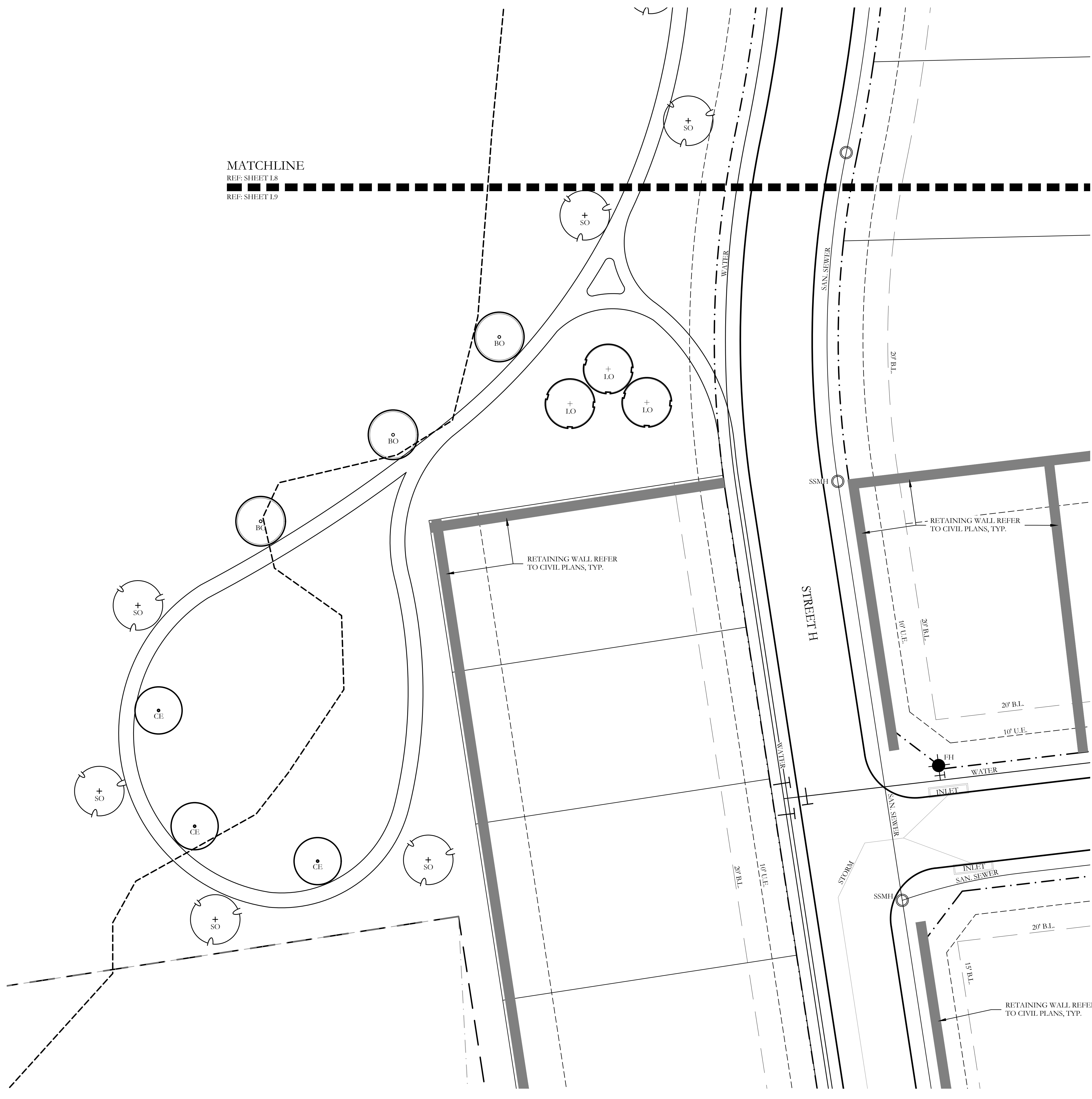
GREENE'S
LAKE

MATCHLINE
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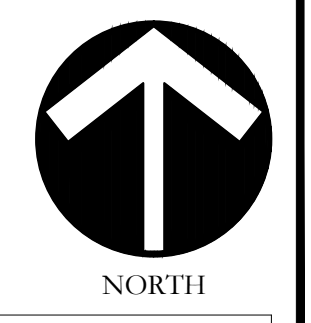
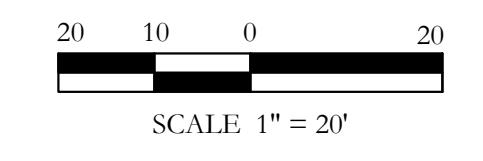
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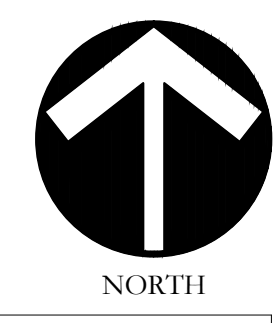
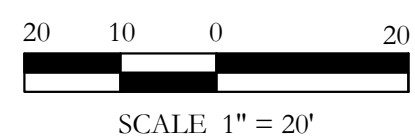
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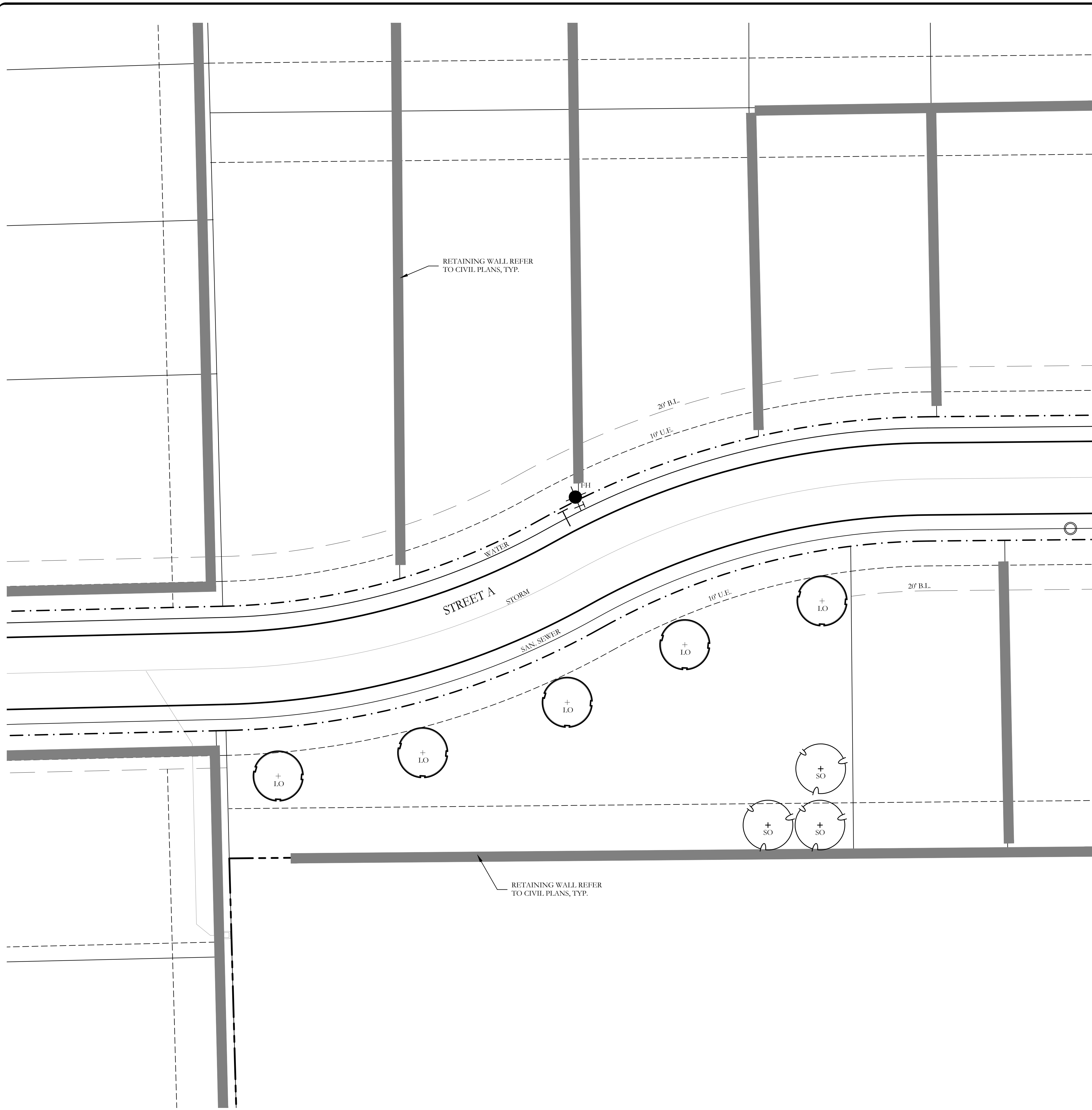
PLANT LEGEND					
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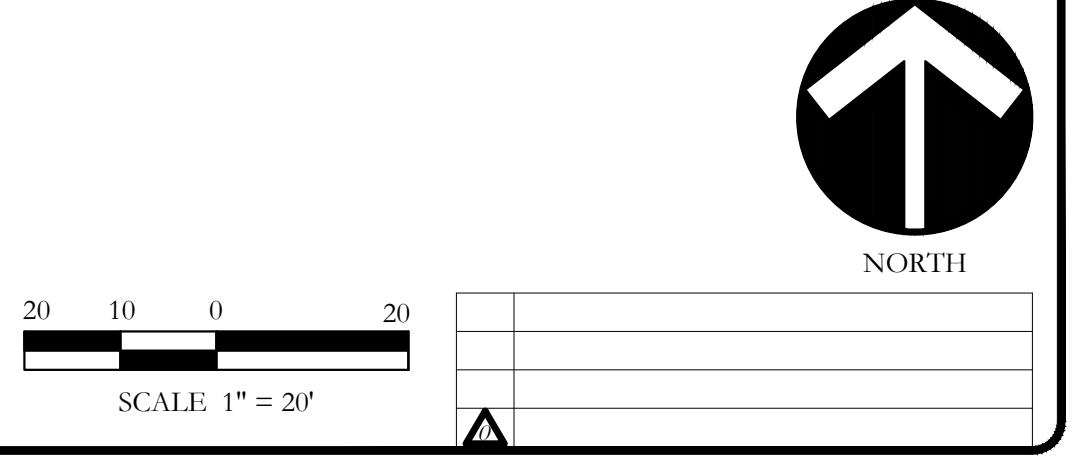


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LANDSCAPE PROVIDED

FM 1141 ROAD.

MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
1204 LF OF FRONTAGE / 50 LF = 24 - 4" CAL. TREES & 24 ACCENT TREES REQUIRED
PROVIDED: 25 - 4" CALIPER CANOPY TREES & 24 ACCENT TREES PROVIDED

TREE MITIGATION

173 CAL. INCHES REMOVED

119 - 4" CAL. CANOPY TREES & 24 - 2" CAL. ACCENT TREES = 476 CAL. INCHES REPLACED.

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	29	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	29	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	25	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	12	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	12	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
- UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

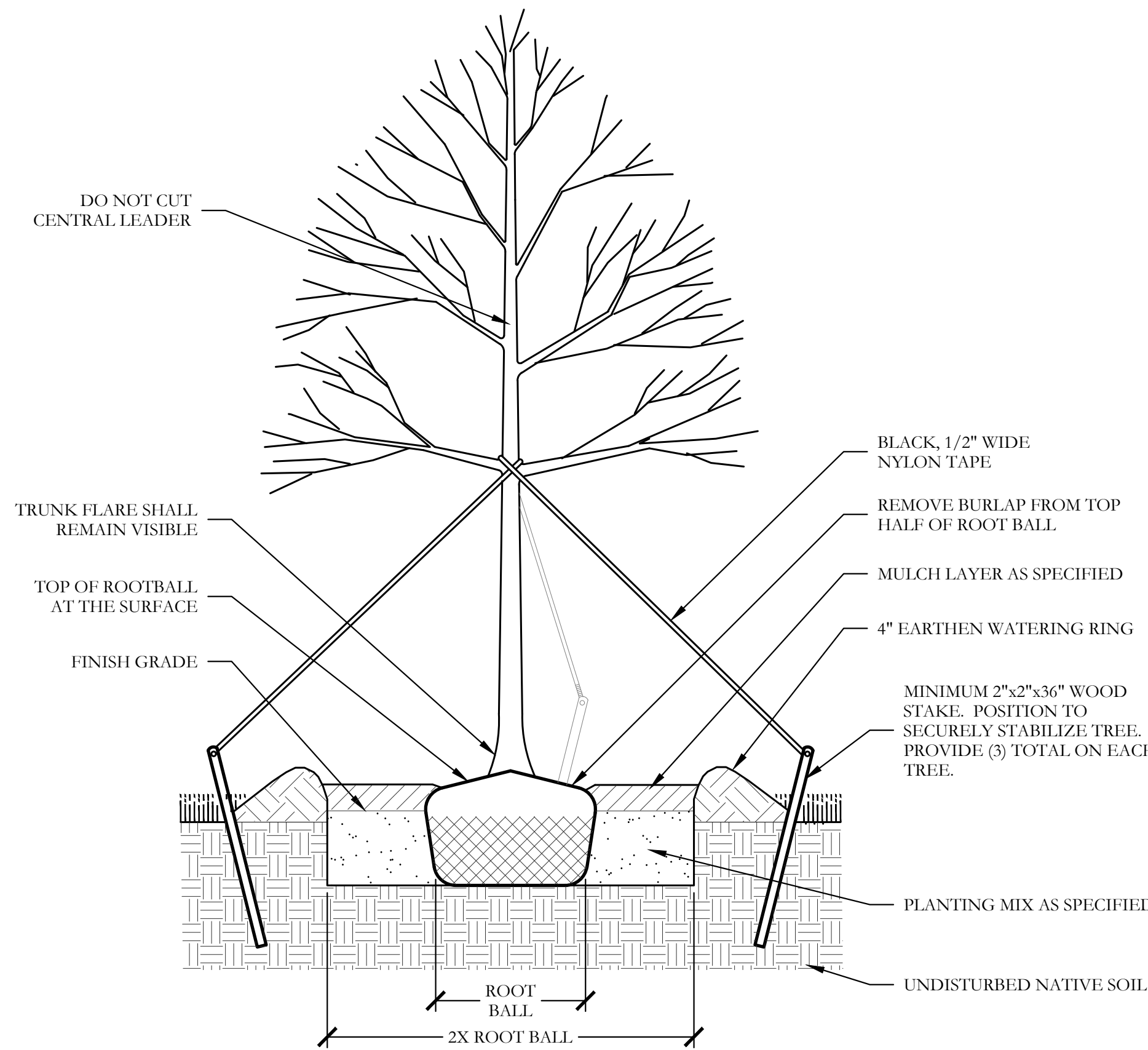
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

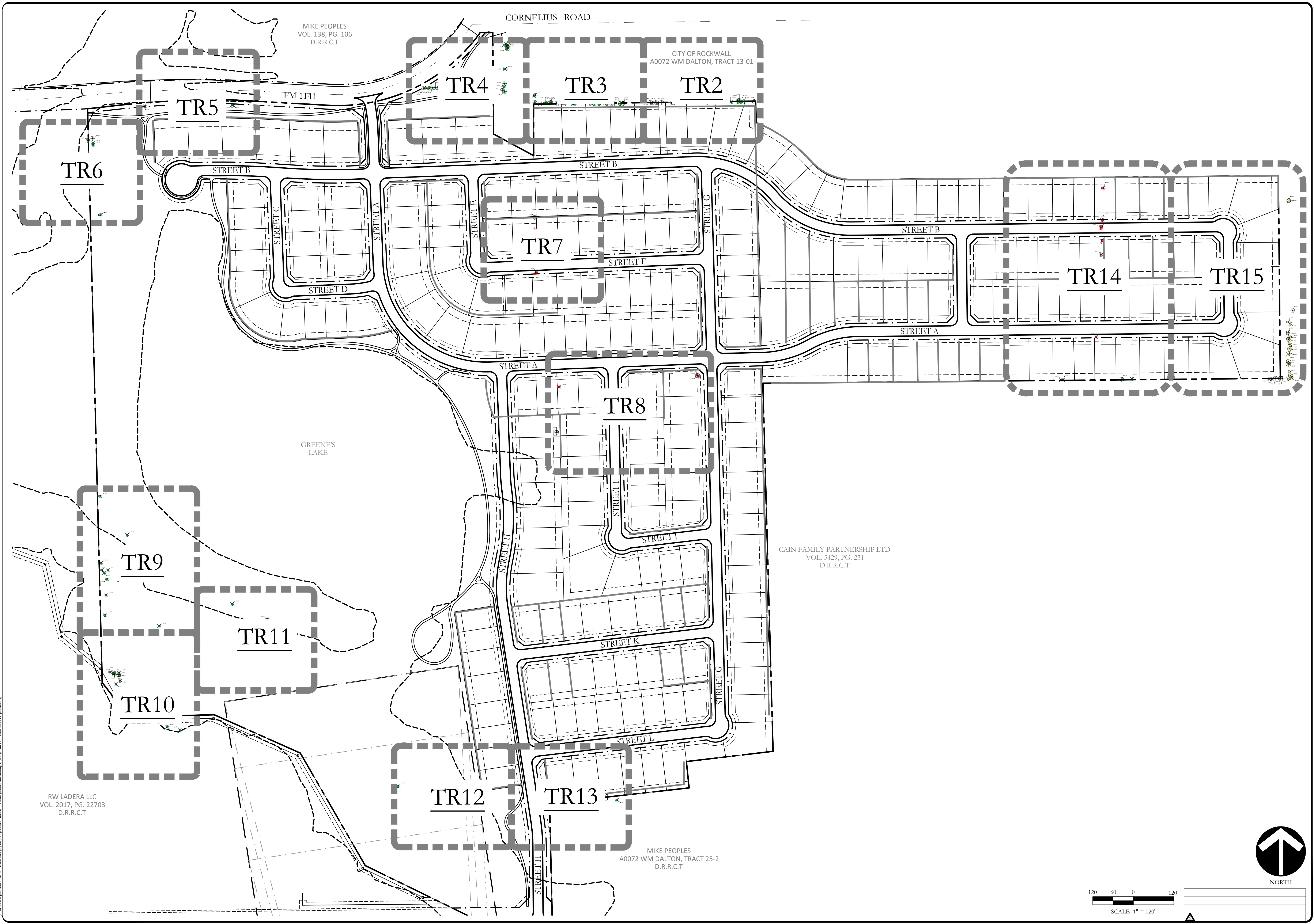
TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



1 TYPICAL TREE PLANTING SECTION NOT TO SCALE

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MIKE PEOPLES
VOL. 138, PG. 106
D.R.R.C.T

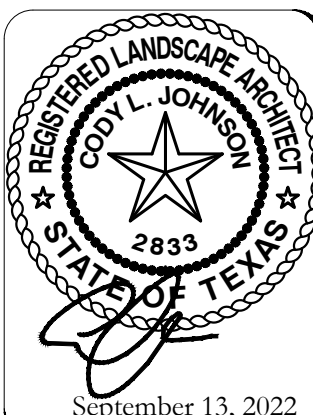
CITY OF ROCKWALL
A0072 WM DALTON, TRACT 13-01

GREENE'S
LAKE

CAIN FAMILY PARTNERSHIP LTD
VOL. 5429, PG. 231
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A0072 WM DALTON, TRACT 25-2
D.R.R.C.T

RW LADERA LLC
VOL. 2017, PG. 22703
D.R.R.C.T




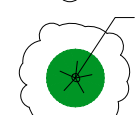

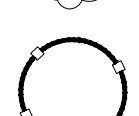
SCALE:
1" = 120'
One Inch
JVC No 2215

CITY OF ROCKWALL
A0072 WM DALTON, TRACT 13-01

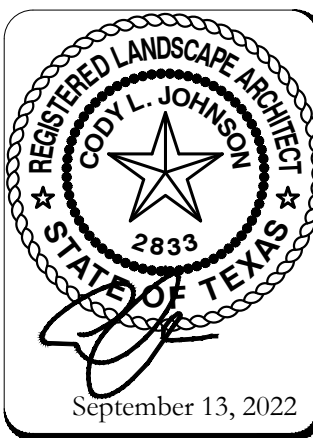
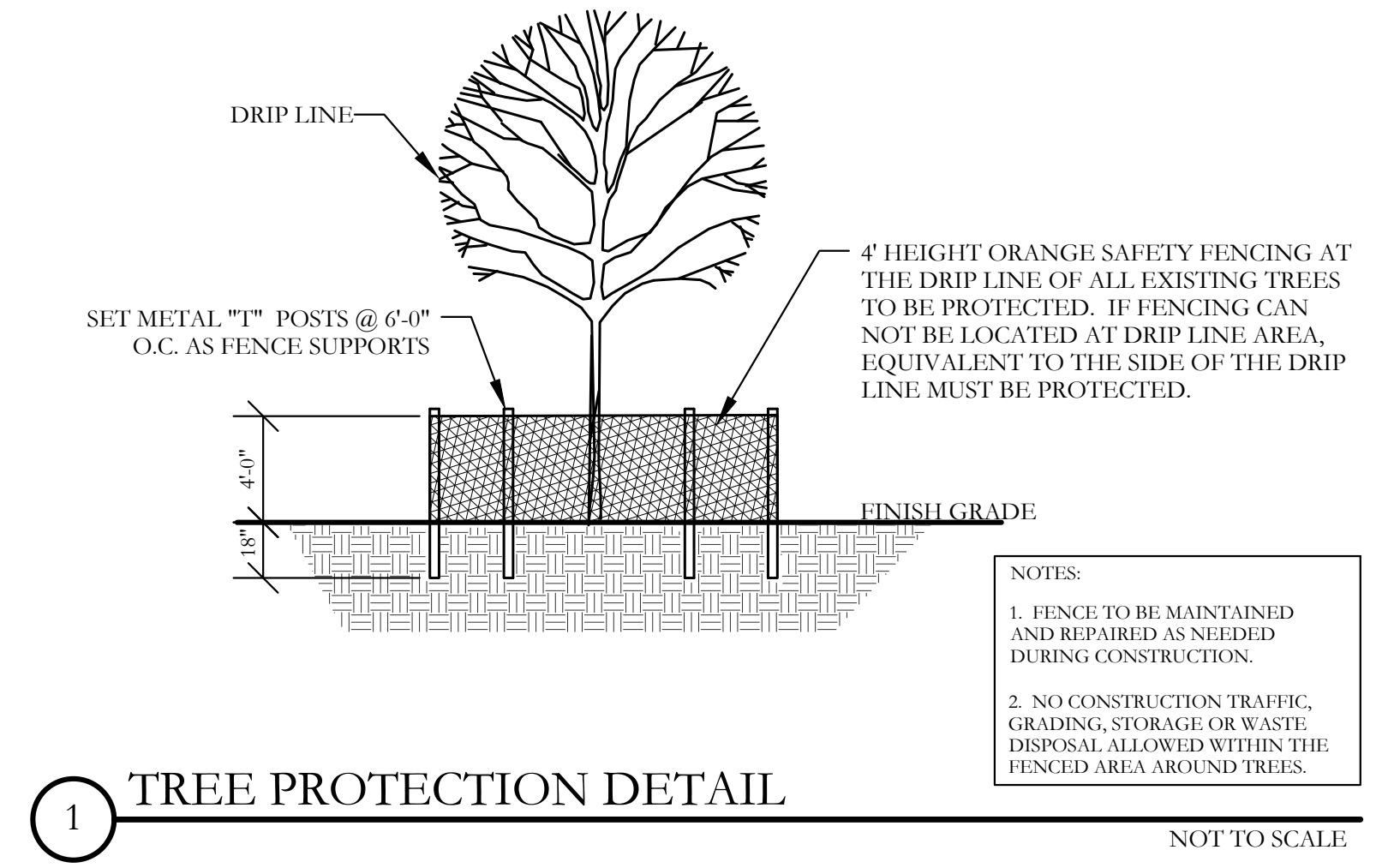
MATCHLINE
REF. SHEET TRS
REF. SHEET TRC



LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE, TYP.

- ### TREE PROTECTION NOTES
- EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. ORANGE COATED CHAINLINK FENCING (MIN. 4'-0" HEIGHT) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARDS AND ORDINANCES.
 - DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, ASPHALT, OIL SOLVENTS, CONCRETE, MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
 - NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
 - NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WELL OR RETAINING WALL SHOWN ON THE GRADING PLAN.
 - NO MATERIALS SHALL BE STORED WITHIN THE DRIPLINE AREA OF A TREE TO BE PRESERVED.



SCALE:
 1" = 20'
 One Inch
 JVC No 2215

P:\civil_3\projects\imp - michael jayce\properties\2215 - vallis green landscape\dwg\2215 - tree survey plan.dwg

F:\level_3\projects\imp - michael joyce\properties\2215 - vallis green landscape\dwg\2215 - tree survey plan.dwg

2

MATCHLINE
REF: SHEET TR4
REF: SHEET TR5

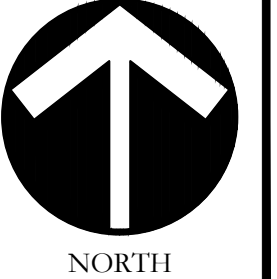
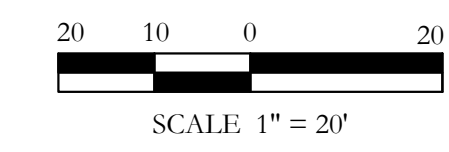
CITY OF ROCKWALL
A0072 WM DALTON, TRACT 13-01

MATCHLINE
REF: SHEET TR3
REF: SHEET TR2



LEGEND




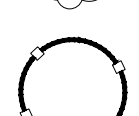
- 7: EXISTING TREE TO BE REMOVED (Red circle with '7')
- 23: EXISTING TREE TO REMAIN (Green circle with '23')
- 32: EXISTING TREE LOCATED OFF-SITE TO REMAIN (Green circle with '32' and a star)
- : TREE PROTECTION FENCE, TYP. (Circle with a dashed line)

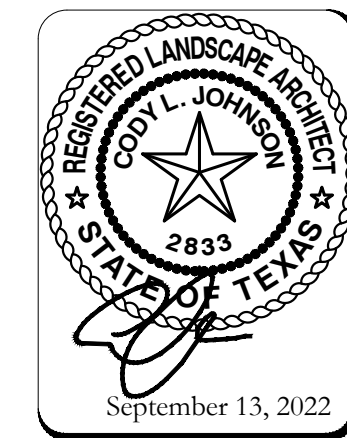
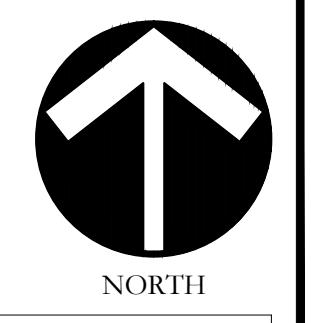
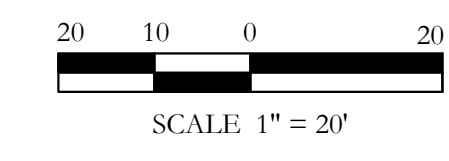


F:\level_3\projects\imp - michael jayce\properties\2215 - wallis green landscape.dwg(2215 - tree survey) jhln.dwg



LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE, TYP.




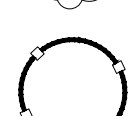


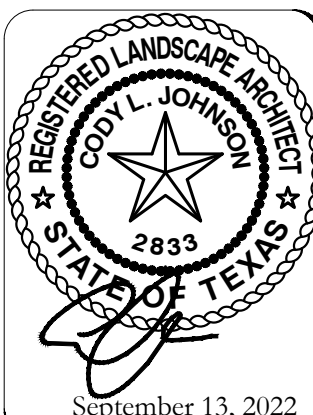
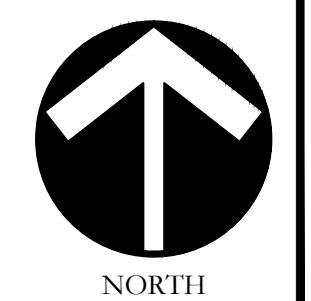
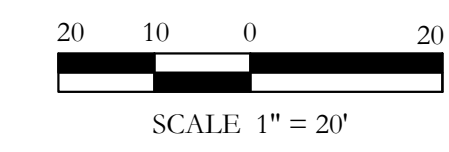
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MATCHLINE
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REF: SHEET TR5



LEGEND


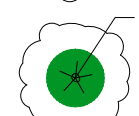

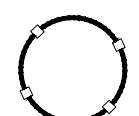
-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.

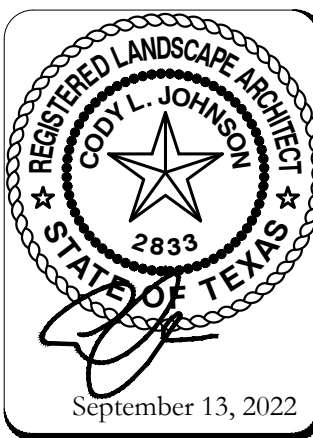
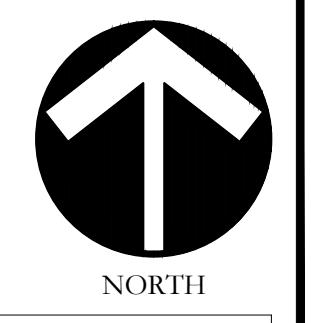
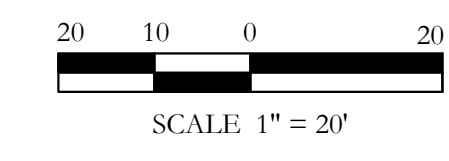


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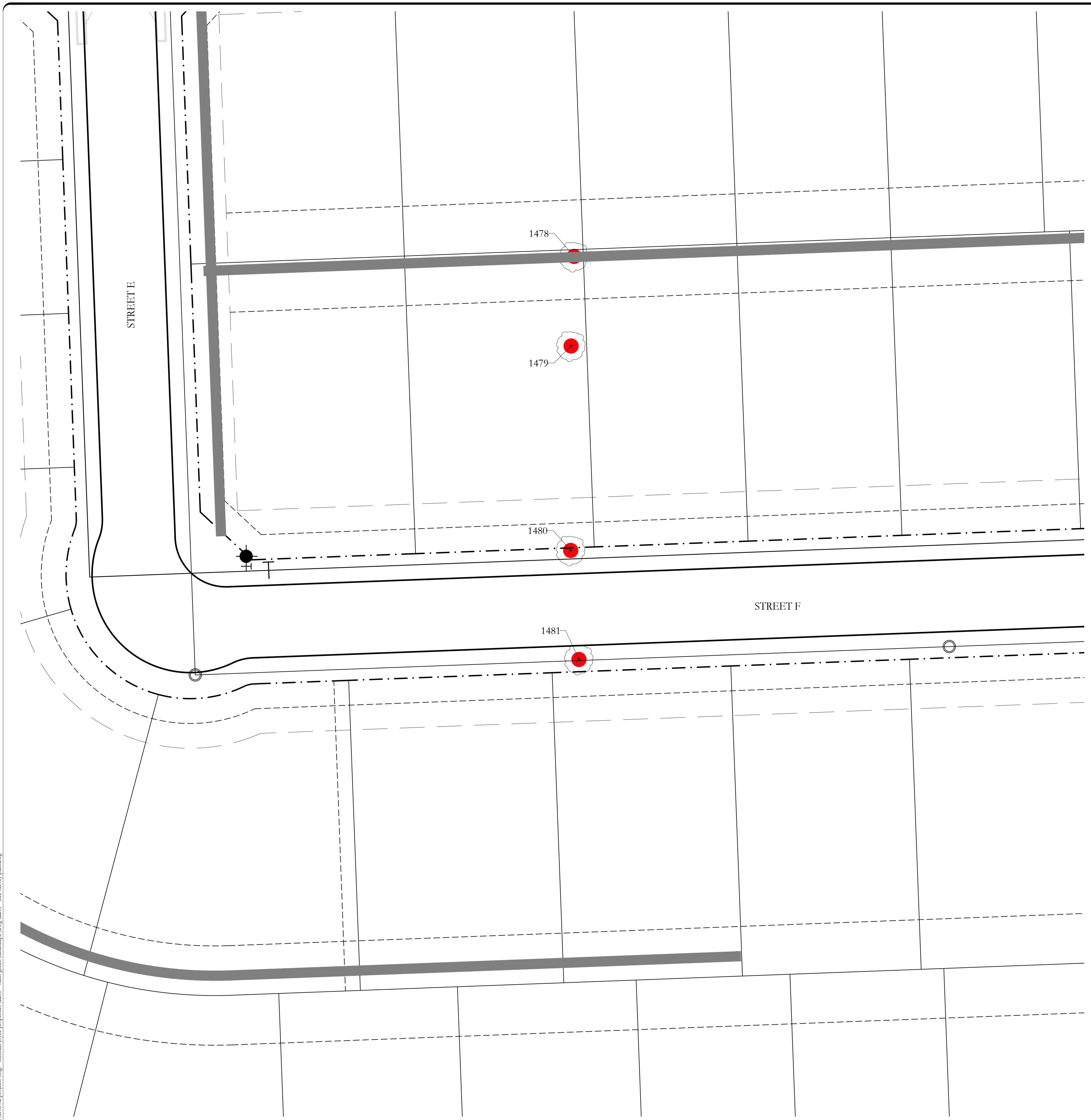


LEGEND




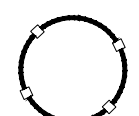
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-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.

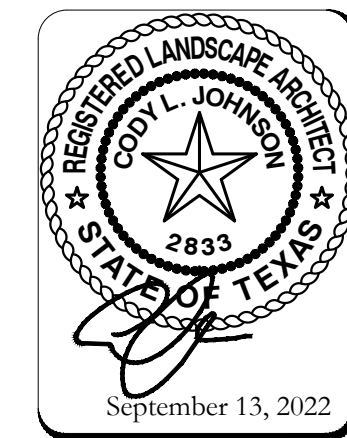
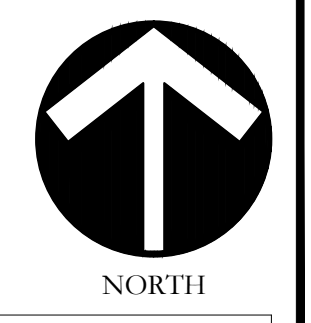
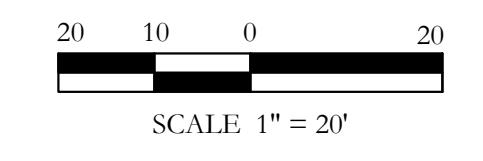


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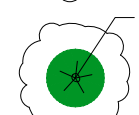

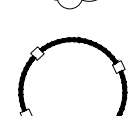
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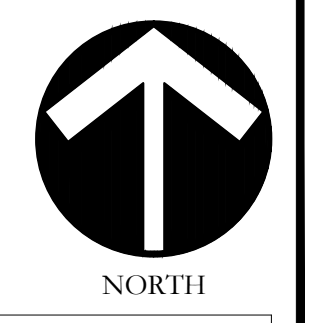
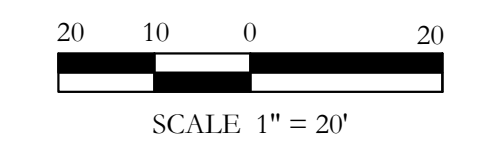
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-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.





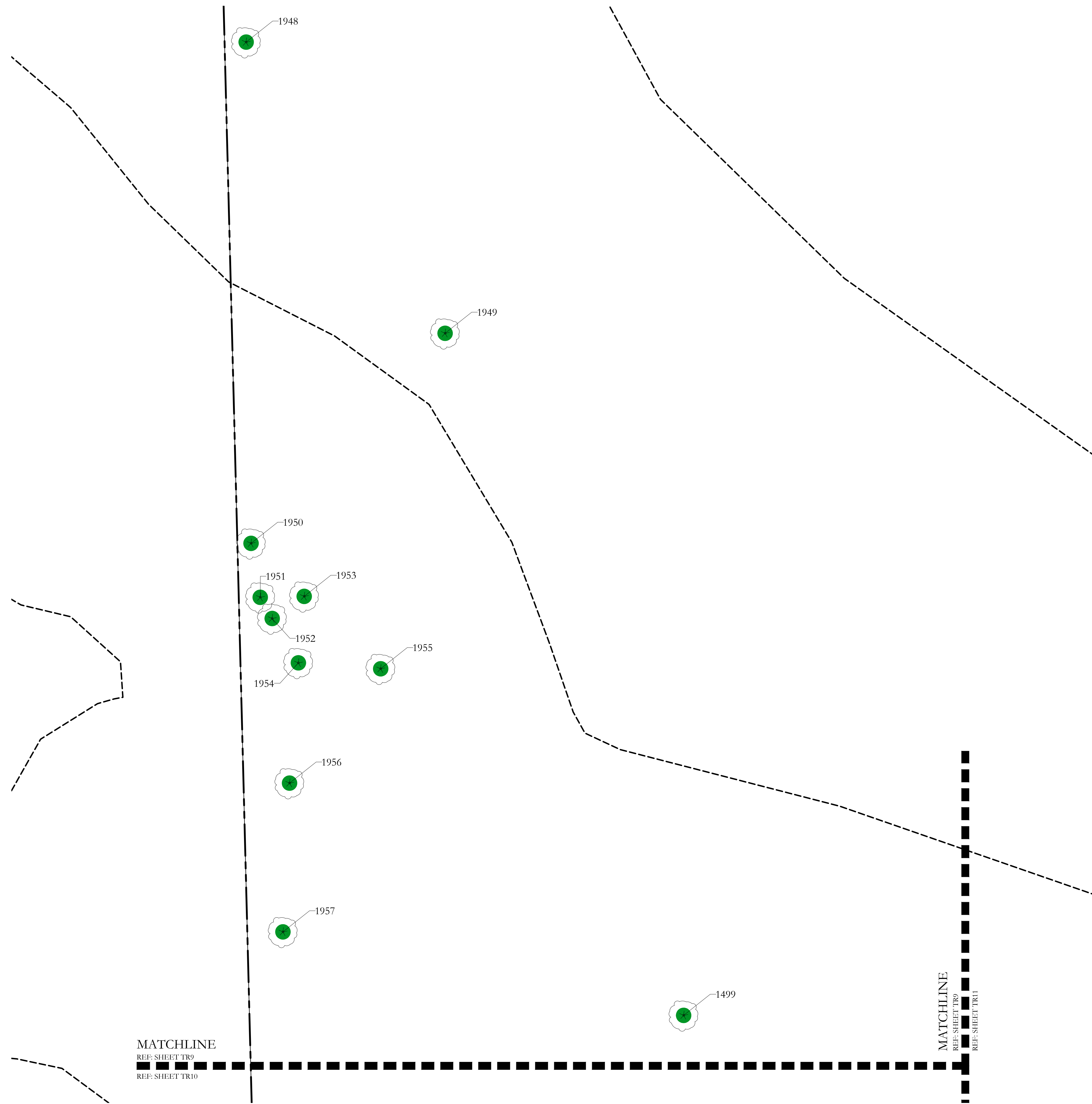
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-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.



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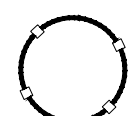
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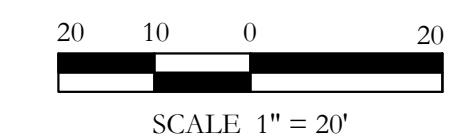


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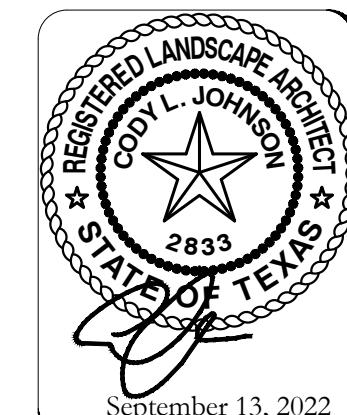
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LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.



SCALE:
1" = 20'
One Inch
JVC No 2215



TREE SURVEY PLAN
TREE SURVEY PLAN

VALLIS GREENE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

JOHNSON VOLK CONSULTING
 JBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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MATCHLINE
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REF: SHEET TR10

MATCHLINE
REF: SHEET TR9
REF: SHEET TR11

MATCHLINE
REF: SHEET TR10
REF: SHEET TR11

1499




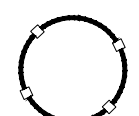
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1958
1966
1965
1964
1962
1960
1963
1961

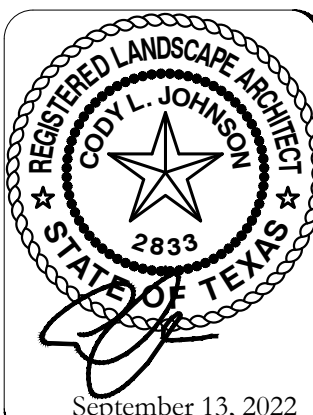
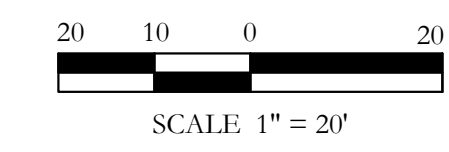
1938

1500

1937

LEGEND




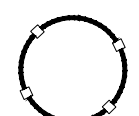
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-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.

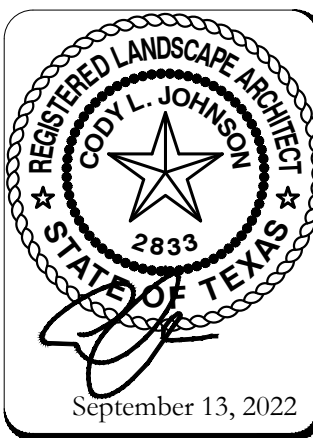
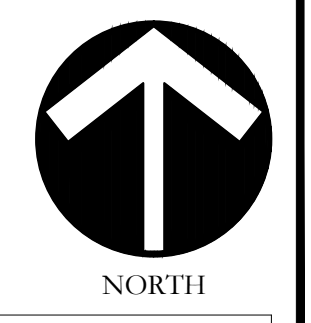
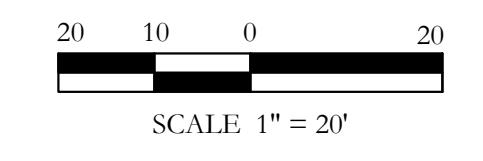


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LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.



SCALE:
1" = 20'
One Inch
JVC No 2215


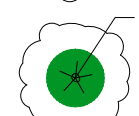

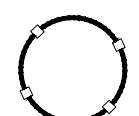
TREE SURVEY PLAN
TREE SURVEY PLAN

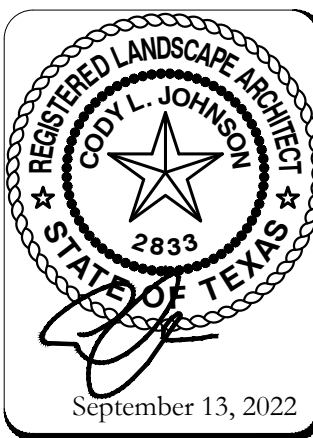
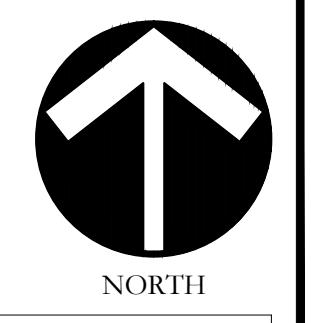
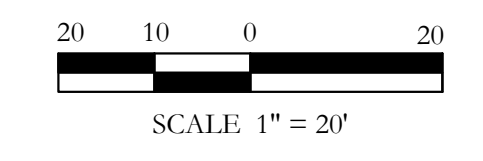
VALLIS GREENE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

F:\level_3\projects\imp - michael jayce\properties\2215 - vallis green\landscape\dwg\2215 - tree survey plan.dwg



LEGEND

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-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.

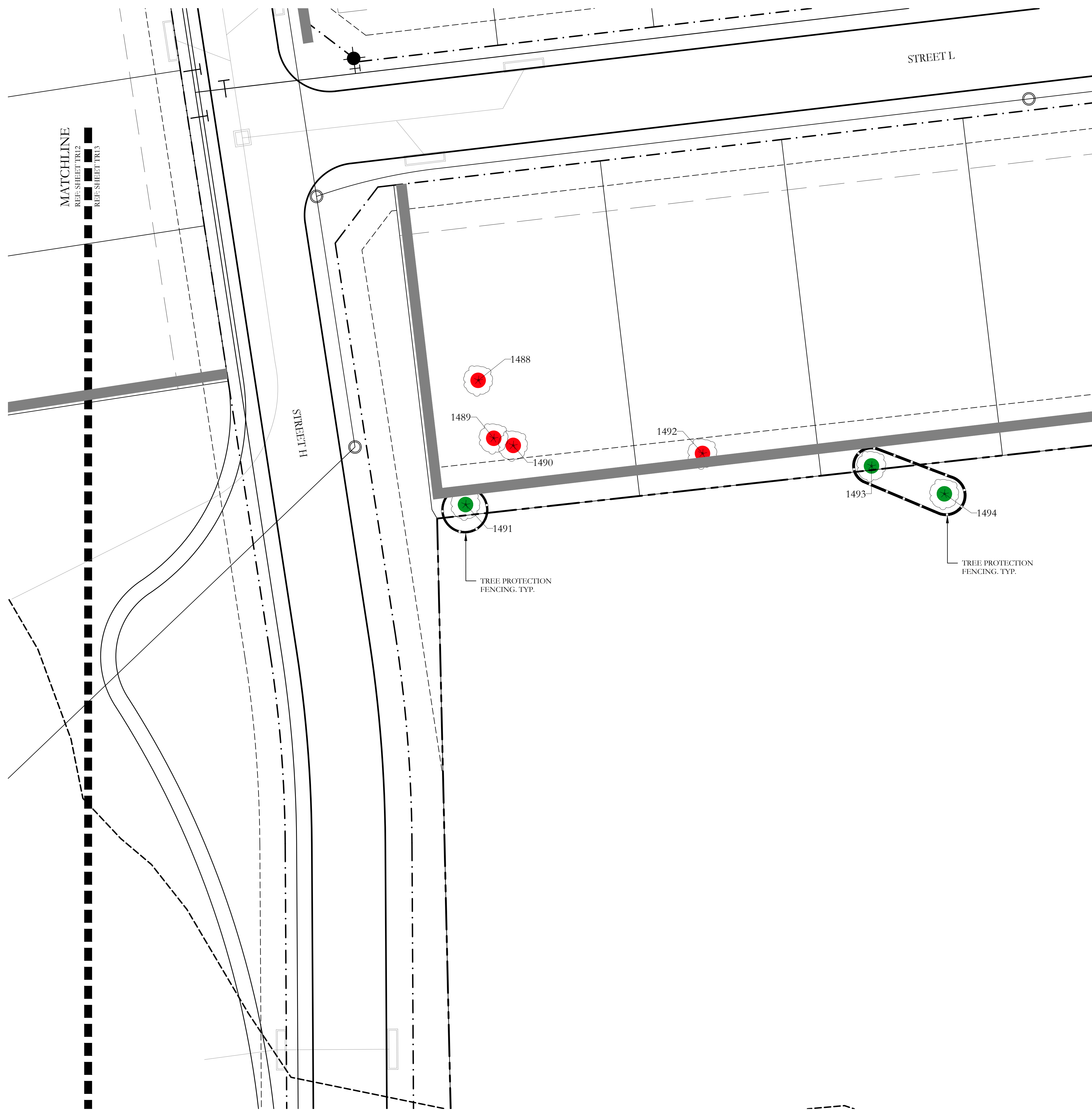


SCALE:
1" = 20'
One Inch
JVC No 2215




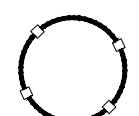
VALLIS GREENE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

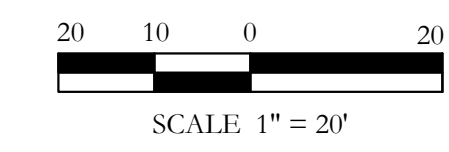
**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

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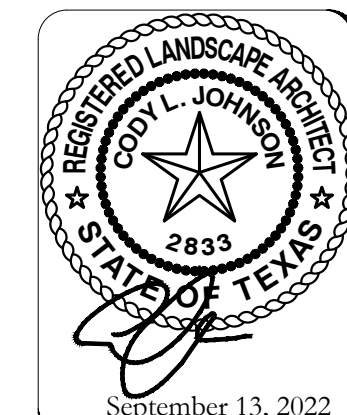


LEGEND

-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE. TYP.



SCALE:
1" = 20'
One Inch
JVC No 2215






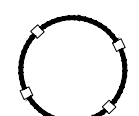
TREE SURVEY PLAN
TREE SURVEY PLAN

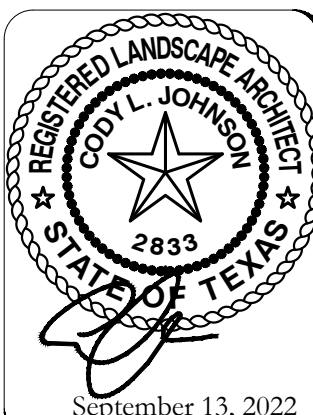
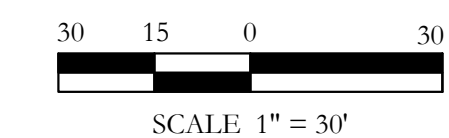
VALLIS GREENE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

F:\level_3\projects\imp - michael jones\properties\2215 - vallis green\landscape\dwg\2215 - tree survey plan.dwg

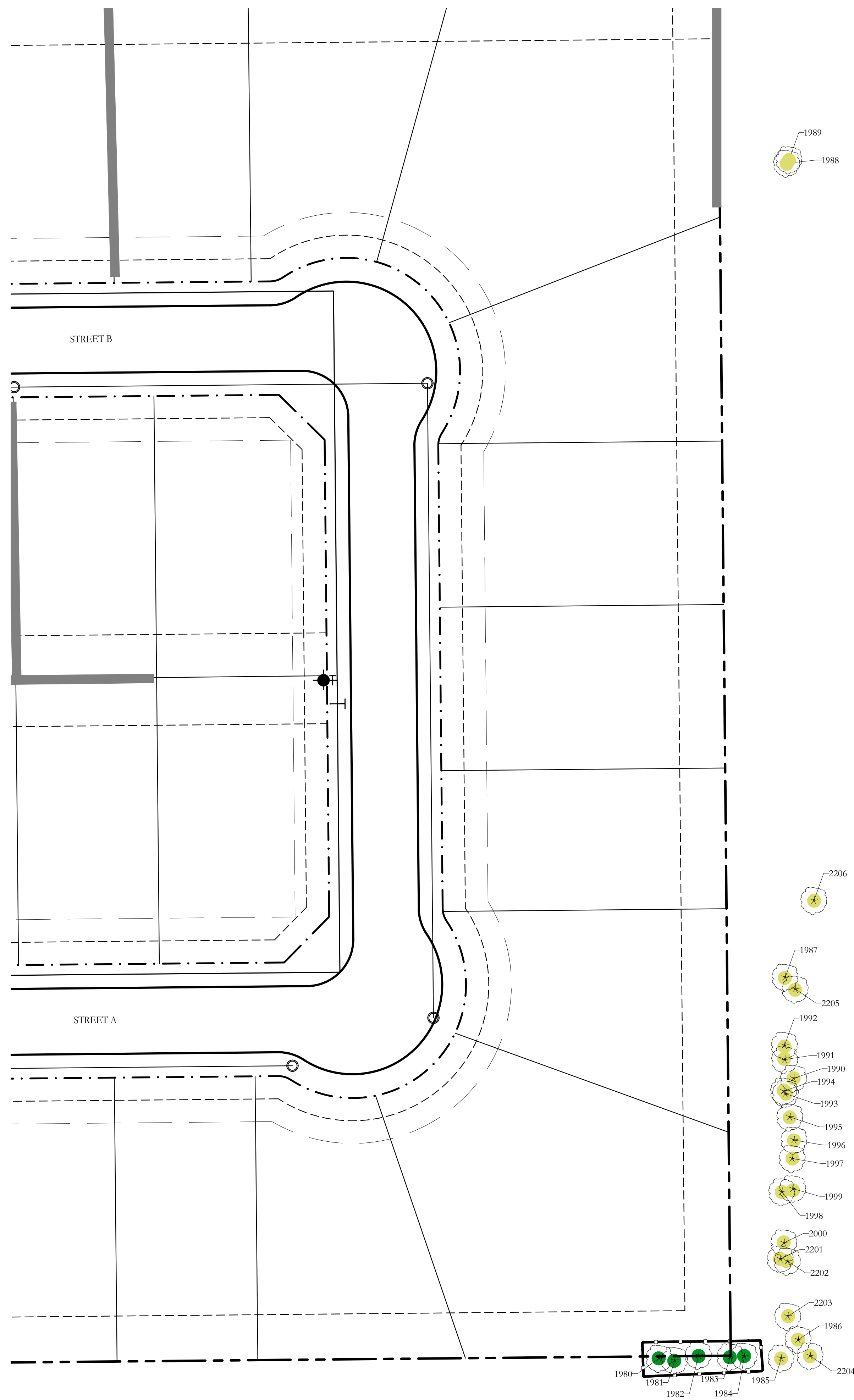


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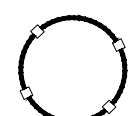
-  7 EXISTING TREE TO BE REMOVED
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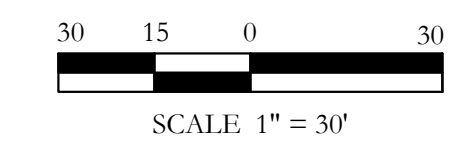


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LEGEND

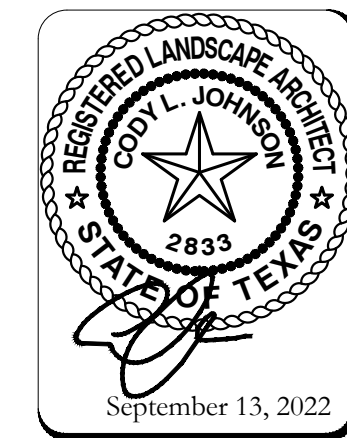
-  7 EXISTING TREE TO BE REMOVED
-  23 EXISTING TREE TO REMAIN
-  32 EXISTING TREE LOCATED OFF-SITE TO REMAIN
-  TREE PROTECTION FENCE TYP.



SCALE:
1" = 30'
One Inch
JVC No 2215

TREE SURVEY PLAN
TREE SURVEY PLAN

VALLIS GREENE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



JOHNSON VOLK CONSULTING
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
1401	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1402	10.8	Eastern Red Cedar	Juniperus virginiana	No	Healthy	Multi-trunk		Remain		0.0
1403	8.4	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1404	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1405	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1406	14.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1407	13.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1408	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1409	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1410	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1411	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1412	1.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1413	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1414	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1415	8.4	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1416	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1417	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1418	10.8	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1419	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
1420	8.4	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1421	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1422	6.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1423	6.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1424	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1425	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1426	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1427	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1428	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1429	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1430	26.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1431	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1432	9.6	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1433	26.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1434	22.8	Hackberry	Juniperus virginiana	Yes	Healthy			Remain		0.0
1435	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1436	6.0	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1437	13.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1438	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1439	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1440	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1441	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1442	8.4	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1443	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1444	7.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1445	16.8	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
1446	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1447	7.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1448	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1449	9.6	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1450	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1451	13.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1452	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1453	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1454	25.0	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
1455	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1456	9.6	Osage Orange	Machra Pomifera	Yes	Healthy			Remain		0.0
1457	12.0	Osage Orange	Machra Pomifera	Yes	Healthy			Remain		0.0
1458	26.4	Osage Orange	Machra Pomifera	Yes	Healthy	Multi-trunk		Remain		0.0
1459	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1460	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1461	16.8	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Multi-trunk		Remain		0.0
1462	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1463	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1464	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1465	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1466	13.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1467	18.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Multi-trunk		Remain		0.0
1468	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1469	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1470	13.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1471	13.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0

Tree ID Number	Diameter at Breast Height (DBH) (inches)	Common Name	Scientific Name	Protected Tree?	Condition	Comment	Location	Remove or Remain	Mitigation Required, Percentage	Mitigation Required in Caliper Inches
1472	16.8	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1473	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1474	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1475	21.6	Cedar Elm	Ulmus crassifolia	Yes	Healthy	Multi-trunk		Remain		0.0
1476	10.8	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1477	9.6	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1478	13.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.6
1479	18.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	9.0
1480	20.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	10.2
1481	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
1482	19.2	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	50%	9.6
1483	8.4	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remove	100%	8.4
1484	7.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remove	100%	7.2
1485	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	50%	7.2
1486	20.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remove	50%	10.2
1487	9.6	Hackberry	Celtis occidentalis	No	Healthy	Multi-trunk		Remove	0%	0.0
1488	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remove	50%	6.0
1489	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
1490	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remove	0%	0.0
1491	8.4	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1492	14.4	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	7.2
1493	16.8	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1494	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1495	44.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1496	6.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1497	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1498	42.0	Cedar Elm	Ulmus crassifolia	Yes	Damaged			Remain		0.0
1499	19.2	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1500	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1937	37.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1938	22.8	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1939	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1940	6.0	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1941	7.2	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1942	6.0	Cedar Elm	Ulmus crassifolia	No	Healthy			Remain		0.0
1943	12.0	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1944	26.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1945	8.4	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1946	24.0	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1947	22.8	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1948	10.8	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1949	31.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1950	22.8	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1951	14.4	Cedar Elm	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1952	21.6	Green Ash	Ulmus crassifolia	Yes	Healthy			Remain		0.0
1953	14.4	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1954	24.0	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1955	21.6	Pecan	Carya illinoensis	Yes	Healthy			Remain		0.0
1956	9.6	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1957	13.2	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
1958	20.4	Green Ash	Fraxinus pennsylvanica	Yes	Healthy	Multi-trunk		Remain		0.0
1959	7.2	Eastern Red Cedar	Juniperus virginiana	No	Healthy			Remain		0.0
1960	10.8	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1961	37.2	Hackberry	Celtis occidentalis	Yes	Healthy	Multi-trunk		Remain		0.0
1962	8.4	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1963	13.2	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remain		0.0
1964	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1965	9.6	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1966	7.2	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1967	16.8	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1968	13.2	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1969	13.5	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remove	100%	13.5
1970	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remove	100%	24.0
1971	15.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	7.5
1972	13.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	6.5
1973	12.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	6.0
1974	26.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	13.0
1975	29.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy			Remove	50%	14.5
1976	9.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1977	8.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1978	24.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1979	9.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy			Remain		0.0
1980	12.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1981	11.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1982	11.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1983	14.0	Hackberry	Celtis occidentalis	Yes	Healthy			Remain		0.0
1984	8.0	Hackberry	Celtis occidentalis	No	Healthy			Remain		0.0
1985	21.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy	Multi-trunk	Off-Site	Remain		0.0
1986	8.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy		Off-Site	Remain		0.0
1987	15.0	Eastern Red Cedar	Juniperus virginiana	Yes	Healthy		Off-Site	Remain		0.0
1988	10.0	Green Ash	Fraxinus pennsylvanica	Yes	Healthy		Off-Site			

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: SP2022-049
PROJECT NAME: Site Plan for Ruibal's
SITE ADDRESS/LOCATIONS: 207 RANCH TRL

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Mike Ruibal of Ruibal's Garden Center for the approval of a Site Plan for a Garden Supply/Plant Nursery on a 2.98-acre tract of land identified as Lots 12 & 12-1 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 207 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	09/22/2022	Approved w/ Comments

09/22/2022: SP2022-049; Site Plan for Garden Supply/Plant Nursery
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Mike Ruibal of Ruibal's Garden Center for the approval of a Site Plan for a Garden Supply/Plant Nursery on a 2.98-acre tract of land identified as Lots 12 & 12-1 of the Rainbow Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 207 Ranch Trail.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. October 4, 2022 is the deadline to have all comments; please provide staff revised plans before October 4, 2022 to ensure all comments are addressed.

I.3 The subject property will be required to be replatted after the engineering process to establish the new easements.

M.4 For reference, include the case number (SP2022-049) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.5 Provide a numeric and graphic scale for reference on every page of each plan. (Subsection 03.04.A, of Article 11)

M.6 Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)

M.7 Site Plan

- (1) Indicate the distance between all property lines and existing and planned buildings located on the site. (Subsection 03.04.B, of Article 11)
- (2) Indicate all building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
- (3) Indicate all utilities both existing and proposed. (Subsection 03.04.B, of Article 11)
- (4) Indicate all drive/turning radii. (Subsection 03.04.B, Article 11)
- (5) Indicate all drive widths. (Subsection 03.04.B, of Article 11)
- (6) Indicate all sidewalks. A 5-foot sidewalk is required along Ranch Trail Drive. (Subsection 03.04.B, of Article 11)
- (7) Indicate the right-of-way for Ranch Trail Drive (60-foot), (Subsection 03.04.B, of Article 11)

- (8) Indicate the length of the proposed parking spaces. Spaces shall be 9' X 20". (Subsection 05.03, of Article 06)
- (9) Indicate the type and depth of the paving material and provide a detail or cutsheet. (Subsection 03.02, of Article 06)
- (10) Indicate the location and type of all proposed and/or existing signage on the site plan. (Subsection 06.02.F, of Article 05)
- (11) If a fence is proposed, please indicate the height and type of fence proposed. (Subsection 008.02F, of Article 08)
- (12) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening (e.g. screening with taller parapets or adding louver screening). (Subsection 01.05. C, of Article 05)
- (13) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. The current location of the dumpster will not allow for proper access of the service trucks. Please revise.
- (14) Is there going to be outside storage? If so, please indicate the area for outside storage and the required screening for the outside storage areas.

M.8 Landscape Plan:

- (1) Landscape Plan layout of site does not match site plan layout. Please revise.
- (2) Provide the same site data information as required on the site plan.
- (3) Indicate the applicable zoning district percentage of landscaping required and provided, and the impervious area vs. the amount of landscaping and open spaces required and provided. (Subsection 01.01.B, of Article 05)
- (4) Provide a landscape table showing plant materials, quantities, size and spacing for existing and proposed landscaping. Complete description of plant materials shown on the plan, including names, locations, qualities, container or caliper sizes at installation, heights, spread, and spacing requirements should also be listed on the plan. (Subsection 05.03.B, of Article 08)
- (5) Please indicate detention areas. Detention areas shall incorporate a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree per 1,500 SF of detention area. (Subsection 05.03.D, of Article 08)
- (6) A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way. All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer. Currently the landscape plan shows 5 Canopy. The frontage along Ranch Trail Drive requires 5 Canopy and 5 Accent Trees. Please indicate on Landscape Plan. (Subsection 05.01.B.1, of Article 08)
- (7) All parking spaces shall be within 80' of a tree (Subsection 05.03.E, of Article 08)
- (8) Identify all visibility triangles for all driveway intersections and public streets. (Subsection 01.08, of Article 05)
- (9) Trees must be planted at least five (5) foot from water, sewer, and storm sewer lines. (Subsection 05.03.E, of Article 08)
- (10) Provide a not indicating irrigation will meet requirements of UDC. (Subsection 05.04, Article 08)
- (11) The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the City. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the City. (Section 4.2, Coverage, Engineering Standards of Design and Construction).
- (12) All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod -- hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO).
- (13) All canopy trees shall be 4" Caliper or larger. (Subsection 07.01, of Article 09)
- (14) What is the additional hatched area around the building?
- (15) Decomposed granite drives are not permitted. These must be concrete.

M.9 Photometric Plan:

- (1) Provide a photometric plan indicating the light levels of any lighting added to the site including wall packs and indicate the light levels throughout the property. (Subsection 03.03, of Article 07)
- (2) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 03.03.C, of Article 07)
- (3) The maximum outdoor maintained, computed, measured illumination level within any non-residential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07)
- (4) No light pole, base, or combination thereof shall exceed 30 feet. (Subsection 03.03.D, of Article 07)
- (5) Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03, of Article 07)

M.10 Building Elevations:

- (1) Please provide a numeric and graphic scale as well as horizontal and vertical measurements of each façade.
- (2) Indicate which exterior elevations are adjacent to right-of-way.
- (3) Indicate the surface area of each façade and the square footage of each material used on that façade. (Subsection 04.01, of Article 05)
- (4) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)
- (5) Indicate the roofing materials and color.
- (6) All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited. Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. In this case, the proposed building has less than a 6:12 roof pitch. This will require an exception. (Subsection 04.01A.1, of Article 05)
- (7) The maximum wall length shall not exceed three (3) times the hall height. In this case, the wall length on both secondary facades exceeds this maximum. This will require an exception to the building articulation standards. (Figure 7, Article 05)
- (8) Indicate all roof mounted mechanical equipment and indicate how these will be screened from the view of all adjacent properties and roadways. (Subsection 01.05.C of Article 05)

I.11 Based on the materials submitted staff has identified the following exceptions for this project:

- (1) Building Articulation on Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. In this case the two (2) secondary facades (i.e. the "rear" and "right" building elevations) do not meet these standards.
- (2) Roof Pitch. According to Article 05, Development Standards, of the Unified Development Code (UDC), "All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch) ..." In this case, the proposed roof pitch is less than 6:12.
- (3) Parking. According to Article 05, Development Standards, of the Unified Development Code (UDC), "(p)arking should not be located between the front façade and the property line". In this case, the existing building has large setbacks from the front property line and it is understandable to put parking in the front. Regardless, this is still an exception and requires 2 compensatory measures.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures.

M.13 Please review and correct all items listed by the Engineering Department.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: - The landscape plan does not match the site plan.

- Call out distance to the driveway to the north. Must have 100' separation between all driveways.
- Show driveway on opposite side of Ranch Trail.

- Can't use a dead end line for more than one "use" Fire hydrant will need to be installed off of a looped line.
- Proposed fire hydrant lead is greater than the allowed 150'. 8" Water line must be looped.
- Dumpster must be skewed to allow trash truck access and backing.
- Water line is on the opposite site of Ranch Trail.
- Parking to be 20'x9'.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Detention is required
- Detention outfall shall be at sheet flow conditions or an off-site drainage easement is required.
- C-value is calculated on zoning type.
- Dumpster to drain to an oil/water separator and then the storm lines.
- Detention pond must drain in a sheet flow condition.

Water and Wastewater Items:

- Must loop min 8" water line on site.
- Water lines used for fire hydrants must be in a minimum 20' wide water easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Show FDC location.
- Minimum public sewer is 8".
- Must tie to 8" on the other side

Roadway Paving Items:

- All paving to be concrete.
- Parking to be 20x9'.
- Drive isles to be 24' wide.
- No dead-end parking allowed.
- Fire lane to have 20' min radius. Fire lane to be in a platted easement.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: The building shall be provided with a fire sprinkler system throughout.

FDC shall be facing and visible from the fire lane.

FDC must be within 100 feet of a fire hydrant.

The FDC shall be clear and unobstructed with a minimum of a 5-foot clear all-weather path from fire lane access.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: Please provide a legend with plant types and sizes.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE:

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 207 Ranch Trail, Rockwall, TX 75032

SUBDIVISION Part of Tract 12 LOT _____ BLOCK _____

GENERAL LOCATION South of I-30 / North of Horizon Rd., in Rockwall

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C CURRENT USE Planning Consultant Office/Supplies

PROPOSED ZONING C PROPOSED USE Landscaping Nursery & Sales

ACREAGE 2.98 LOTS [CURRENT] 0 LOTS [PROPOSED] 0

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Mike Ruibal</u>	<input type="checkbox"/> APPLICANT	<u>Mike Ruibal</u>
CONTACT PERSON	<u>SAME</u>	CONTACT PERSON	<u>SAME</u>
ADDRESS	<u>401 SO. PEARL DALLAS 75201</u>	ADDRESS	<u>401 SO. PEARL DALLAS 75201</u>
CITY, STATE & ZIP		CITY, STATE & ZIP	
PHONE	<u>214 415 1352</u>	PHONE	<u>214 415 1352</u>
E-MAIL	<u>Mike@Ruibals.com</u>	E-MAIL	<u>Mike@Ruibals.com</u>

NOTARY VERIFICATION [REQUIRED]

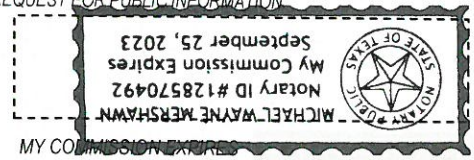
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Ruibal [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

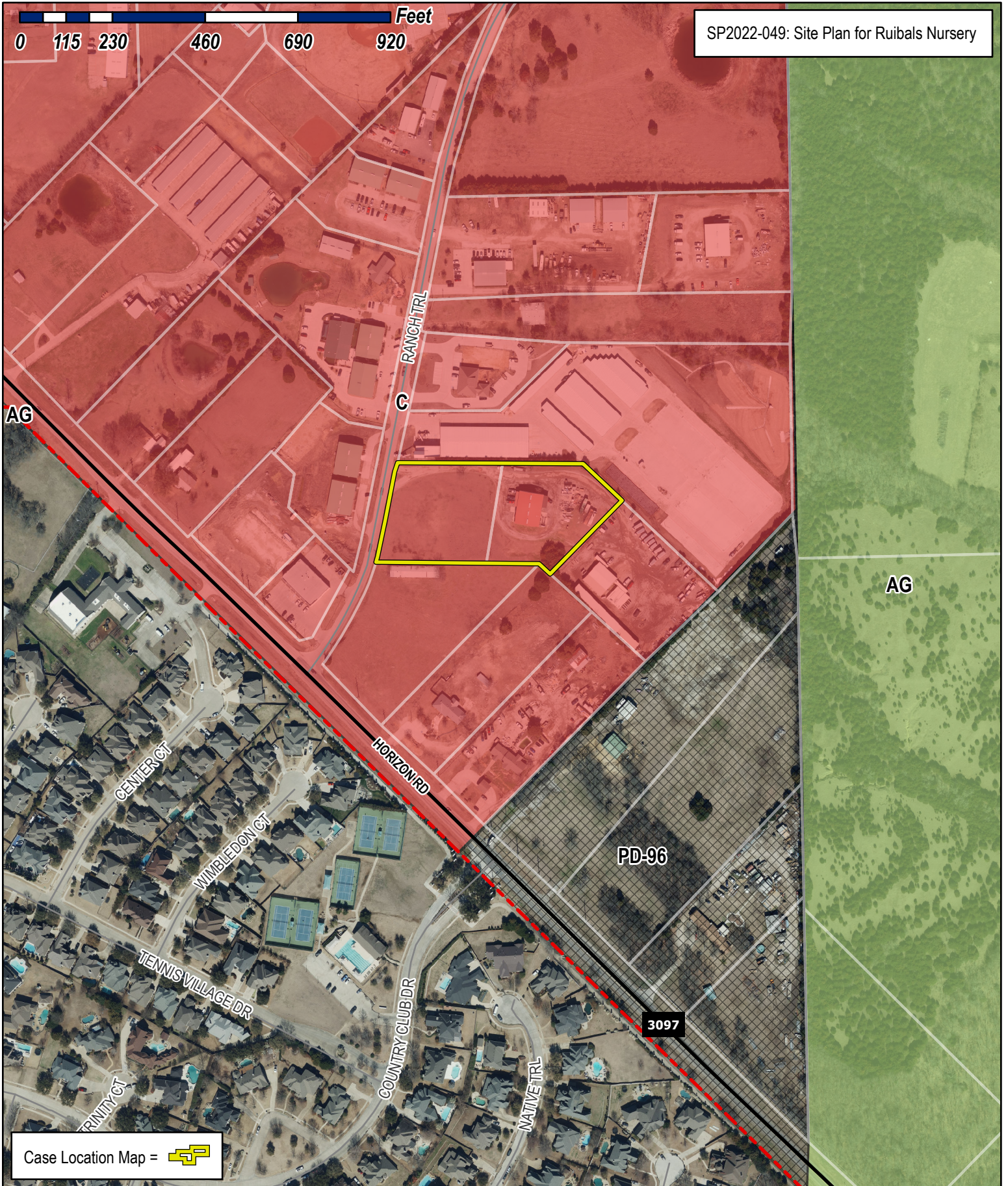
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 318.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5 DAY OF August, 20 23 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE Mike A. Ruibal

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Case Location Map = 

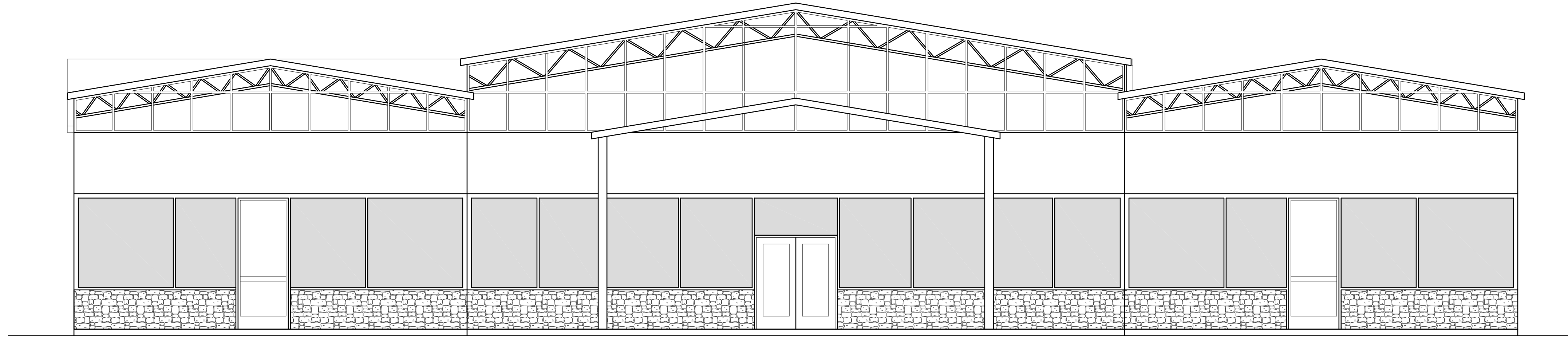


City of Rockwall

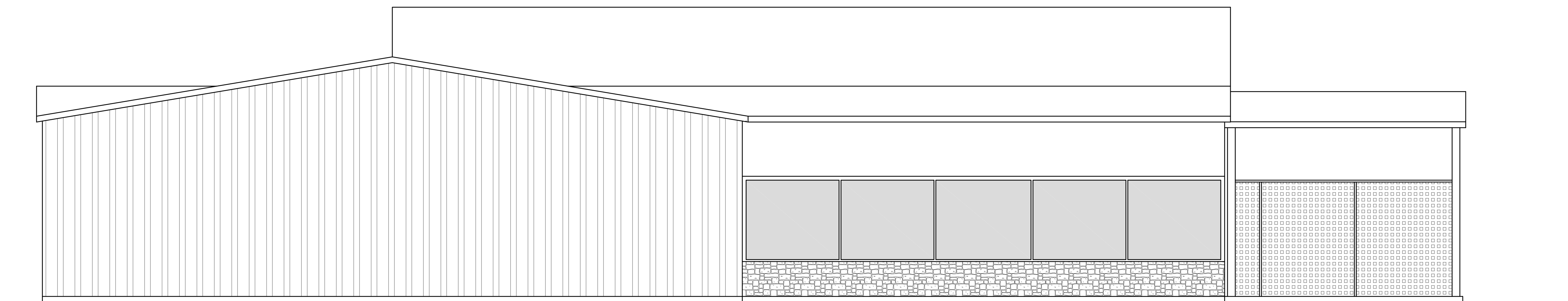
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





FRONT ELEVATION



LEFT ELEVATION

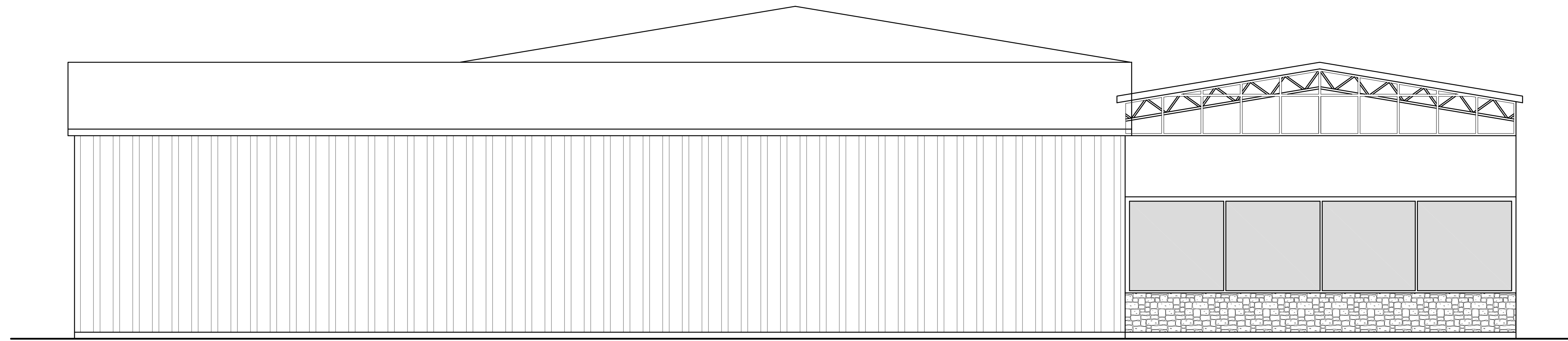
MEDICAL COMMERCIAL CHURCHES
MERSHAWN
RESIDENTIAL RESTAURANTS INSTITUTIONAL ARCHITECTS
1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

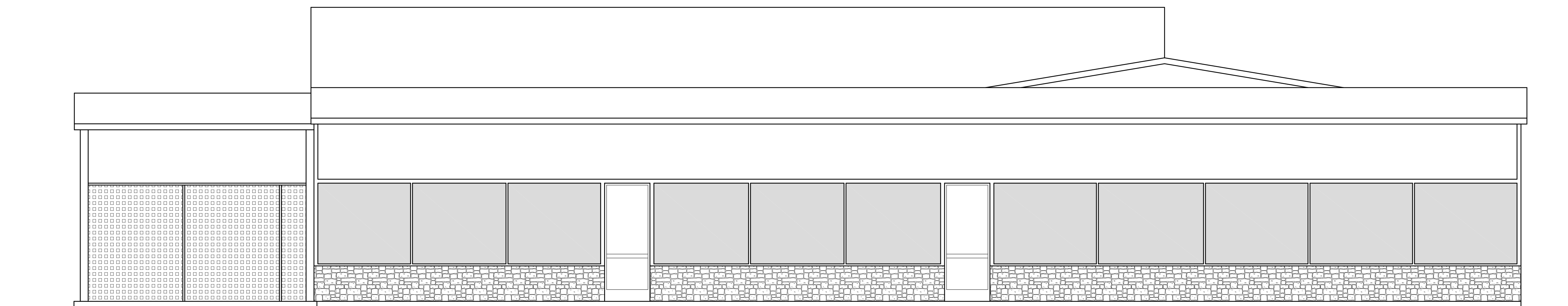
MIKE RUIBAL
RUIBAL'S GARDEN CENTER
PROPOSED ELEVATIONS

Scale: 3/16" = 1'-0"
Date: 02/24/2022
Project No.: TBD
Designed: MM
Drawn: MM
Checked: MM

SHEET
2 OF
3



REAR ELEVATION



RIGHT ELEVATION

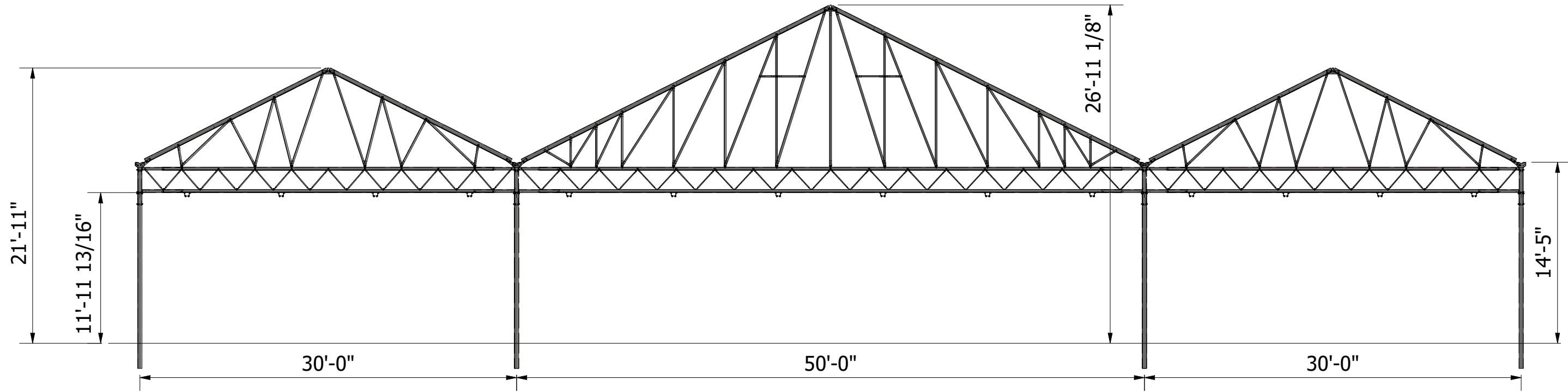
MEDICAL COMMERCIAL CHURCHES
MERSHAWN
1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

MIKE RUIBAL
RUIBAL'S GARDEN CENTER
PROPOSED ELEVATIONS

Scale: 3/16" = 1'-0"
Date: 02/24/2022
Project No.: TBD
Designed: MM
Drawn: MM
Checked: MM

SHEET
3 OF
3



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DATE: 6/2/2022
 SCALE: NTS
 JOB NO:
 DRAWN BY: JOSH COILEY
 APPROVED:

TITLE: MIKE RUIBALS
 ENGINEER
 JOB NAME: GARDEN CENTER

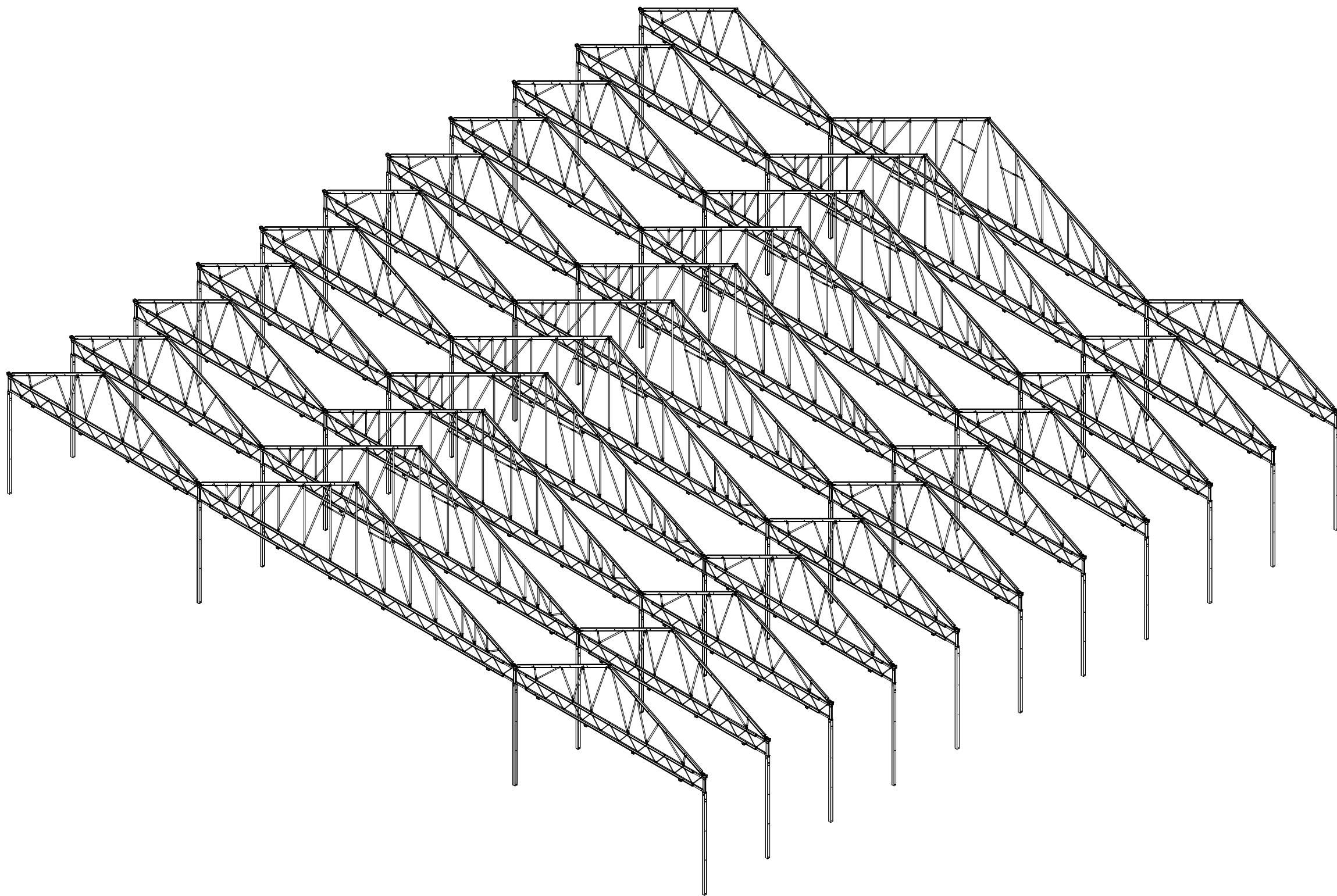
LOADING

DRAWING NO.

DRAWING SET

Sheet 1 of 3

CERTIFICATION



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DATE: 6/2/2022
 SCALE: NTS
 JOB NO:
 DRAWN BY: JOSH COHLEY
 APPROVED:

TITLE:
 ENGINEER:
 JOB NAME:

LOADING:

DRAWING NO.:

DRAWING SET:

Sheet 2 of 3

CERTIFICATION

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



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WITHOUT PERMISSION FROM MERSHAWN.

RESIDENTIAL RESTAURANTS
INSTITUTIONAL
ARCHITECTS

MEDICAL COMMERCIAL
CHURCHES
MERSHAWN

1520 E INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 469-745-1701

No.	Date	Revision	By

MIKE RUIBAL
RUIBAL'S GARDEN CENTER
PROPOSED FLOOR PLAN

Scale:	3/16" = 1'-0"
Date:	02/24/2022
Project No.:	TBD
Designed:	MM
Drawn:	MM
Checked:	MM

SHEET
1 OF
3



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DATE: 6/2/2022
 SCALE: NTS
 JOB NO:
 DRAWN BY: JOSH COHLEY
 APPROVED:

TITLE:
 ENGINEER:
 JOB NAME:

LOADING:

DRAWING NO.:

DRAWING SET:

Sheet 3 of 3

CERTIFICATION:

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: SP2022-050
PROJECT NAME: Site Plan for Bacon Plumbing Phase 2
SITE ADDRESS/LOCATIONS: 2055 KRISTY LN

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Brad Bacon of Bacon Property, LLC for the approval of an Amended Site Plan for an existing Office/Warehouse facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Needs Review

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing Office/Warehouse facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-050) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Light Industrial (LI) District standards and the Development Standards of Article 05, that are applicable to the subject property.

I.5 If any additional lighting is being added to the site, including wall packs for the proposed building, a photometric plan must be provided.

M.6 Site Plan:

1. The distance between buildings must be 15-feet, otherwise a fire rated wall is required. (Subsection 03.04. B, of Article 11)
2. Provide the perimeter dimensions of the proposed building. (Subsection 03.04. B, of Article 11)
3. Please provide the dimension for a typical parking space. (Subsection 05.03, of Article 06)
4. Please confirm the required parking indicated within the site data. Per the table only the existing building is calculated for. (Subsection 05.01, of Article 06)
5. Label the height and type of any existing or proposed fencing. (Subsection 08.02. F, of Article 08)
6. Indicate any ground mounted utility equipment and the subsequent screening. (Subsection 01.05. C, of Article 05)
7. Indicate any roof mounted utility equipment and crosshatch it on the building elevations. (Subsection 01.05. C, of Article 05)
8. There shall be no outside storage. (Article 04)
9. The proposed off-street loading must be screened. Provide landscape screening on the west property line. (Subsection 01.05. A, of Article 05)

M.7 Building Elevations:

1. Please provide the material percentages for each side of the building. (Subsection 05.01. A. 1, of Article 05)
2. Please indicate the cardinal directions of the building facades. (Subsection 05.01, of Article 05)
3. Please show the ghost the parapets that are in the background of a building façade. (Subsection 05.01, of Article 05)
4. Please add depth to the parapet on the "Front" elevation. (Subsection 05.01, of Article 05)
5. Please provide a note indicating that the parapet will be finished on both sides with the same material as the exterior facing wall. (Subsection 05.01, of Article 05)
6. The cementitious material appears to exceed the 50% maximum requirement, which will require a variance. (Subsection 04.01, of Article 05)
7. The stone appears to be deficient of the 20% minimum requirements, which will require a variance. (Subsection 04.01, of Article 05)
8. The wall projection height is not 25% of the height of the wall, and the wall length appears to exceed four (4) times the height. This will require a variance to the Primary Articulation Standards. (Subsection 05.01, of Article 05)
9. Please crosshatch the roof mounted utility equipment. (Subsection 01.05. C, of Article 05)

I.8 Staff has identified the following variances associated with the proposed request: [1] greater than 50% cementitious material, [2] less than 20% stone, and [3] four-sided architecture. Should you decide to request these items as variances, please provide a letter that lists the variances, why they are being requested, and the subsequent compensatory measures. For each variance requested you must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, etc.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on October 4, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2022 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

09/21/2022: Will need to revise detention pond B so that the building is located outside of the easement. (see last page)

- Replat is required to revise easements.
- All paving will be concrete.
- Longitudinal Butt joint needed to tie in concrete to existing.
- Will there be a new water meter?
- Parking island for the fire hydrant must be 10' wide minimum.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Approved w/ Comments

09/20/2022: Egress from the existing building will need to be reviewed for compliance with the common path of travel distance limitations. It appears that the proposed building will create a dead-end corridor space due to the north stair blocking access to the public way.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved

No Comments

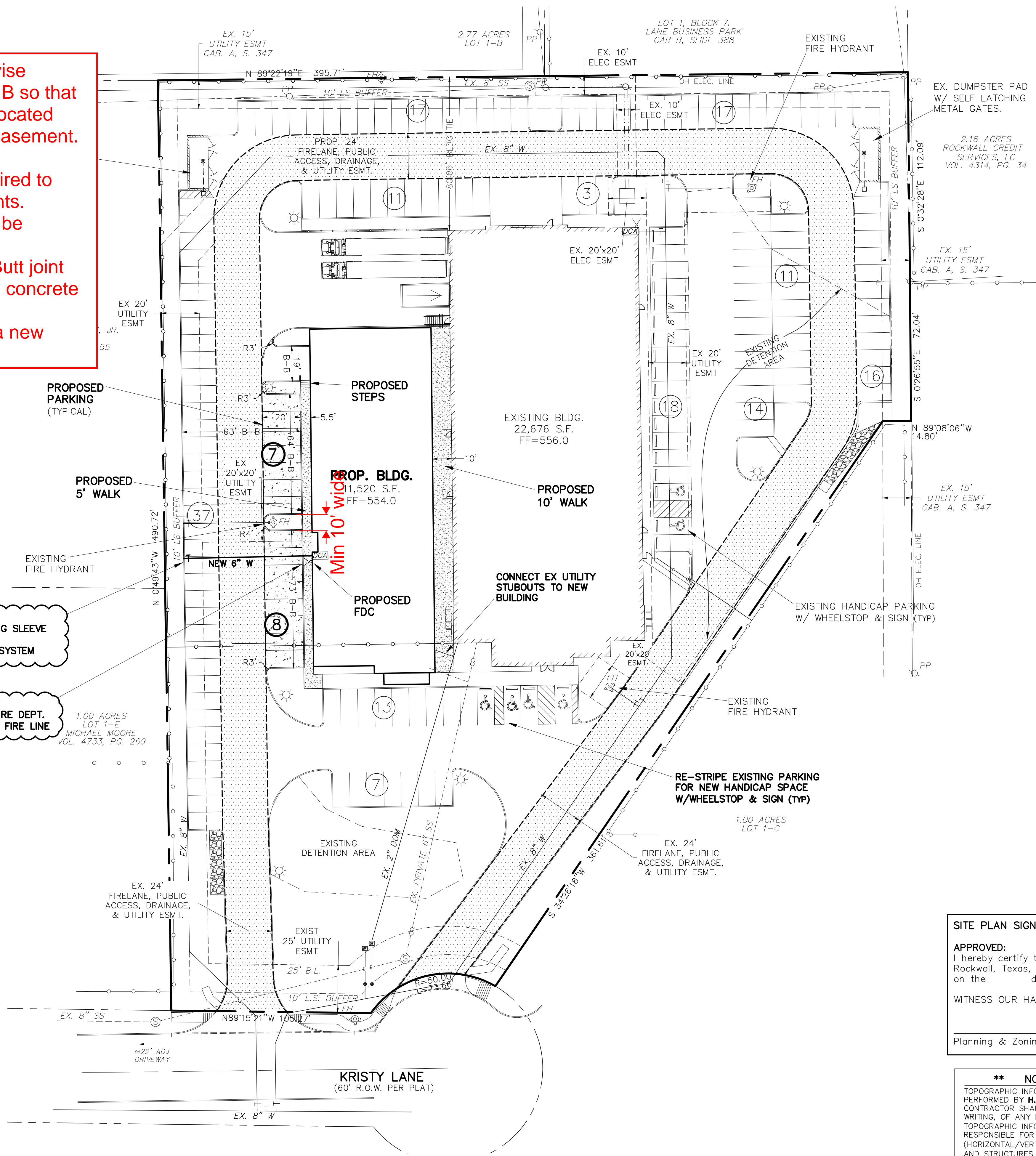
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: Please provide a landscape plan for this project

Will need to revise detention pond B so that the building is located outside of the easement. (see last page)
 - Replat is required to revise easements.
 - All paving will be concrete.
 - Longitudinal Butt joint needed to tie in concrete to existing.
 - Will there be a new water meter?



- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) NEW PAVING TO BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 2) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 3) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 4) NO SAND UNDER PAVING.
 - 5) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
Existing - 14.6%
Proposed - 22.02%

FLOOR TO AREA RATIO:
Existing - 6.85:1
Proposed - 4.54:1

BUILDING AREA:
Existing: 22,676 sq.ft.
Proposed: 11,520 sq.ft.
NEW TOTAL: 34,196 sq.ft.

BUILDING HEIGHT:
1 STORY

PROPOSED USE:
Office/Warehouse

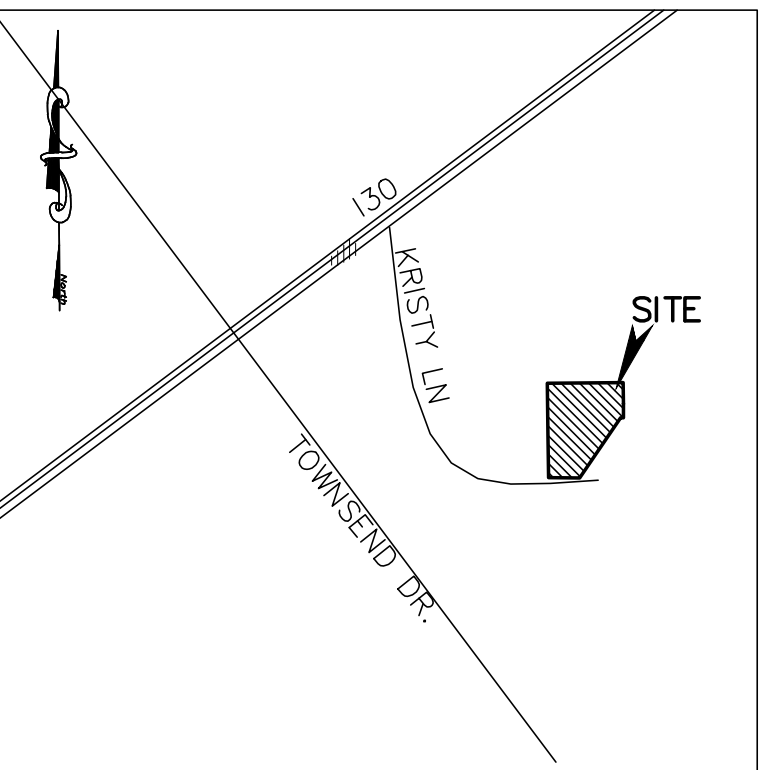
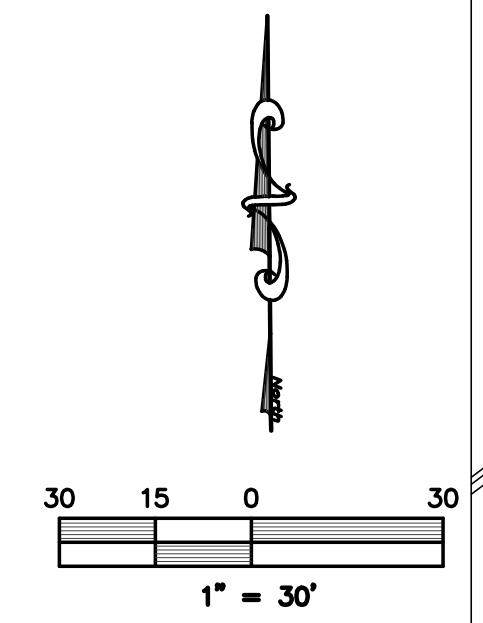
IMPERVIOUS AREA (including buildings):
Existing: 106,733 sq.ft.
Proposed: 17,594 sq.ft.
NEW TOTAL: 124,327 sq.ft.

ZONING:
LI

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 11
TOTAL = 53
Provided:
Existing Standard = 159
Proposed = 15
Handicap = 6
Total Provided = 179

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Existing Provided: 48,561 sq.ft.
Proposed Provided: 30,967 sq.ft.

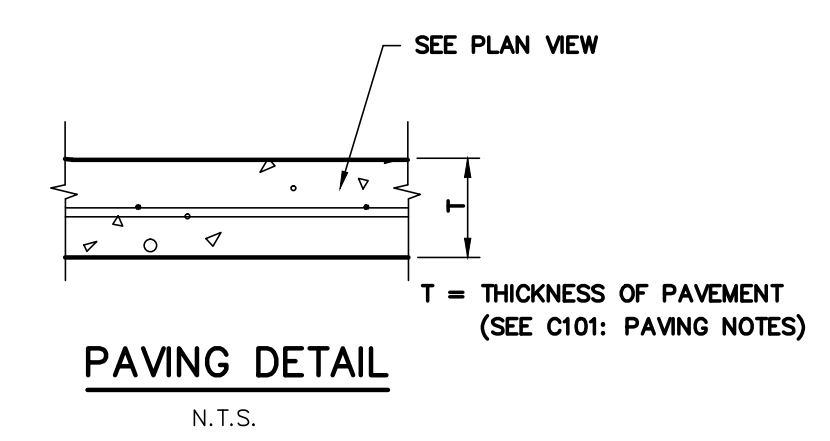
FIRESPRINKLER:
YES
* THERE ARE EXIST. BUILDINGS & TREES ON THIS SITE



LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- 460 --- = EXISTING CONTOURS
- 460 --- = PROPOSED CONTOURS
- x 463.00 TC or x 462.50 = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS --- = EXISTING SANITARY SEWER LINE
- EX. W --- = EXISTING WATER LINE
- FH --- = EXISTING FIRE HYDRANT
- WM --- = EXISTING WATER METER
- PP --- = EXISTING POWER POLE
- LP --- = EXISTING LIGHT POLE
- T --- = EX. WATER VALVE
- ⊙ --- = EXISTING SEWER MANHOLE
- ⊙ --- = EXISTING GAS METER
- B-B --- = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. --- = EXISTING
- PROP. --- = PROPOSED
- LS --- = LANDSCAPE
- RCP --- = REINFORCED CONCRETE PIPE
- min --- = MINIMUM
- max --- = MAXIMUM
- ⊙ --- = PROPOSED FIRE HYDRANT
- = EXISTING FIRELANE



INSTALL:
(1) 8"x6" TAPPING SLEEVE
(1) 6" VALVE
FIRE SPRINKLER SYSTEM

INSTALL:
RPZ IN BLDG W/ FIRE DEPT.
CONNECTION ON 4" FIRE LINE

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

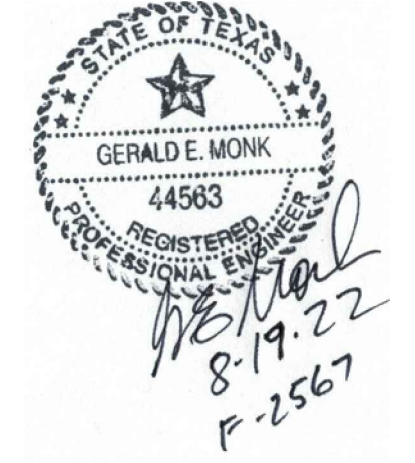
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

**** NOTICE TO CONTRACTORS ****

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ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE # SP2022-XXX

SITE PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
City of Rockwall, Rockwall County, Texas

owner
BACON PROPERTY, LLC
295 Ranch Trail, Rockwall, Texas 75032
Contact: Brad Bacon (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG No.: F-2567
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date: 8/19/22 scale: 1" = 30' sheet: C101



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2055 KRISTY LN.

Subdivision 3.54 AC. BODIN INDUSTRIAL TRACT

Lot 1-m Block

General Location I-30 SERVICE Rd & KRISTY LN

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI

Current Use OFFICE / WAREHOUSE

Proposed Zoning SAME

Proposed Use SAME

Acreage 0.50 AC

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BACON Property, LLC

Applicant CARROLL Architects, INC

Contact Person BRAD BACON

Contact Person JEFF CARROLL

Address 2055 KRISTY LN.

Address 750 E. I-3

#110

City, State & Zip ROCKWALL, TX 75032

City, State & Zip Rockwall TX 75087

Phone 214.280.2296

Phone 214.632.1762

E-Mail BRAD@EVERYONELOVESBACON.COM

E-Mail JC@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Brad Bacon [Owner] the undersigned, who stated the information on this application to be true and certified the following:

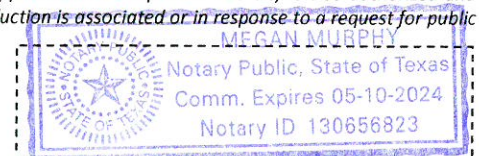
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of September, 2022. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16 day of September, 2022

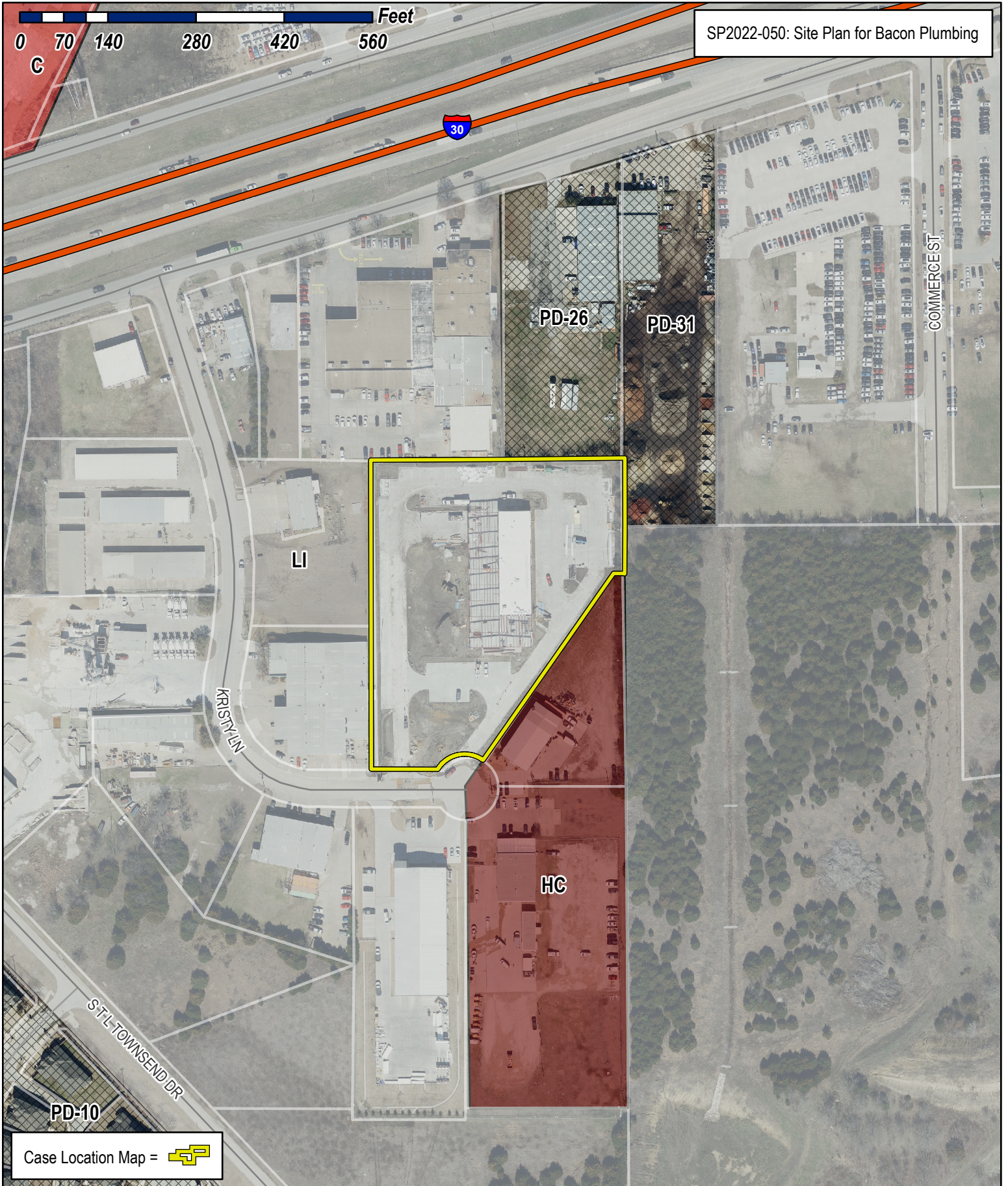
Owner's Signature

Brad Bacon

Notary Public in and for the State of Texas



My Commission Expires 5.10.24



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

September 16, 2022

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: Project Explanation letter
Bacon Phase 2 Project
2055 Kristy Ln
Rockwall, TX. 75032

Mr. Miller,

This letter serves as a summary of the other plans **not** submitted in the typical site plan approval package for submission.

Site Plan Package Submission for Phase 2 Development.

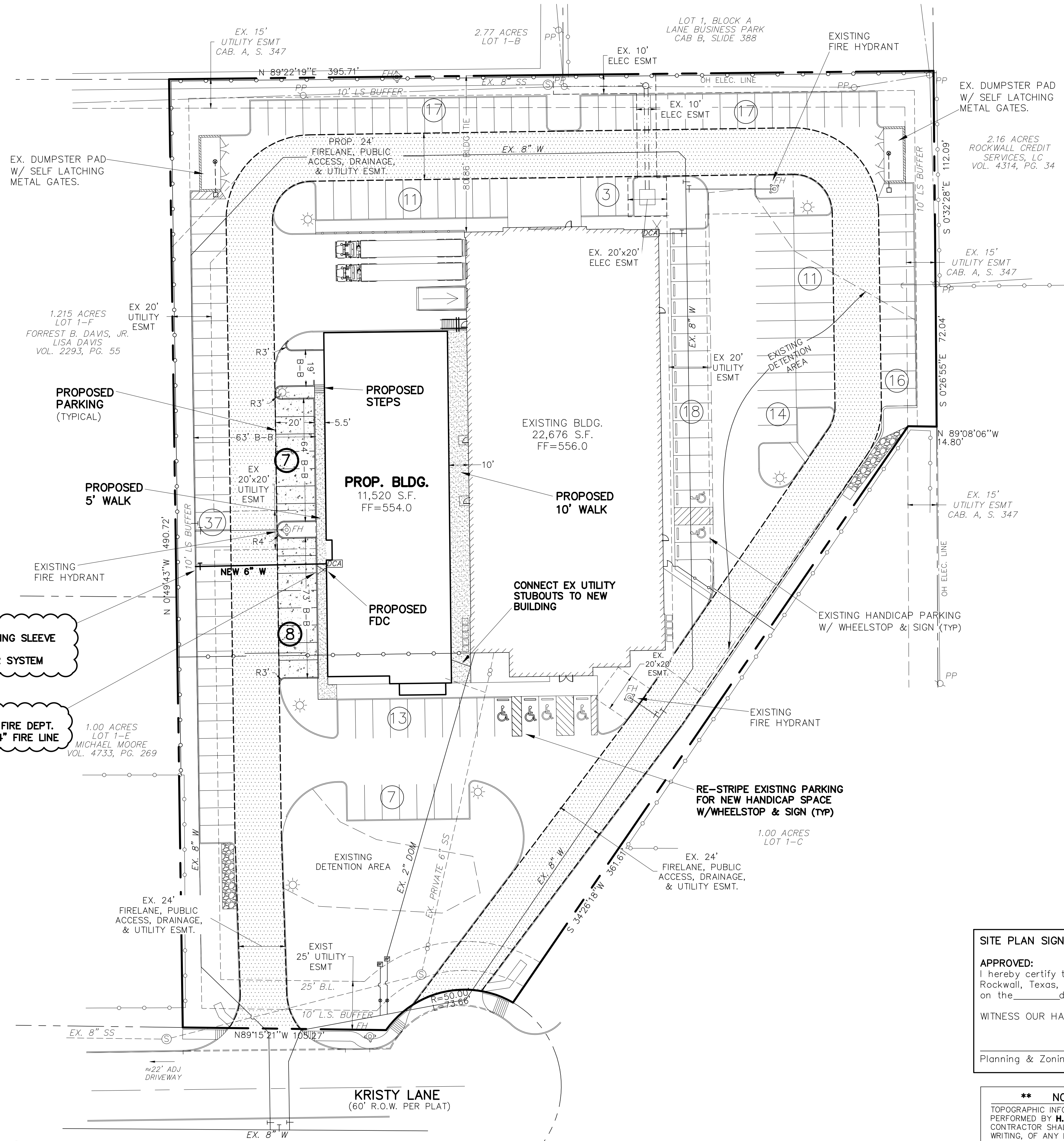
- A) **Landscape Plan, Treescape Plan, Site Lighting Plan.** We understand that the landscape, tree survey, and site lighting plans (photometric plan) were approved during the Phase 1 approval package. These plans were developed on site during phase 1 construction.

Thank you for consideration and reviewing our request.

Sincerely,

A handwritten signature in black ink that reads 'Jeff Carroll' in a cursive script.

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO



- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) NEW PAVING TO BE 6" THICK (SIDEWALK TO BE 4"), 3000 psi, 6 SACK MIX, REINFORCED WITH #3 BARS @ 18" O.C.
 - 2) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 3) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 4) NO SAND UNDER PAVING.
 - 5) NO PAVING, INCLUDING SLAB, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN, & HAVE ANCHORED SEEDED CURLEX OR SOD ON THE SIDES & BOTTOM OF POND

SITE DATA:

LOT AREA:
3.57 Acres, 155,294 sq.ft.

LOT COVERAGE:
Existing - 14.6%
Proposed - 22.02%

FLOOR TO AREA RATIO:
Existing - 6.85:1
Proposed - 4.54:1

BUILDING AREA:
Existing: 22,676 sq.ft.
Proposed: 11,520 sq.ft.
NEW TOTAL: 34,196 sq.ft.

BUILDING HEIGHT:
1 STORY

PROPOSED USE:
Office/Warehouse

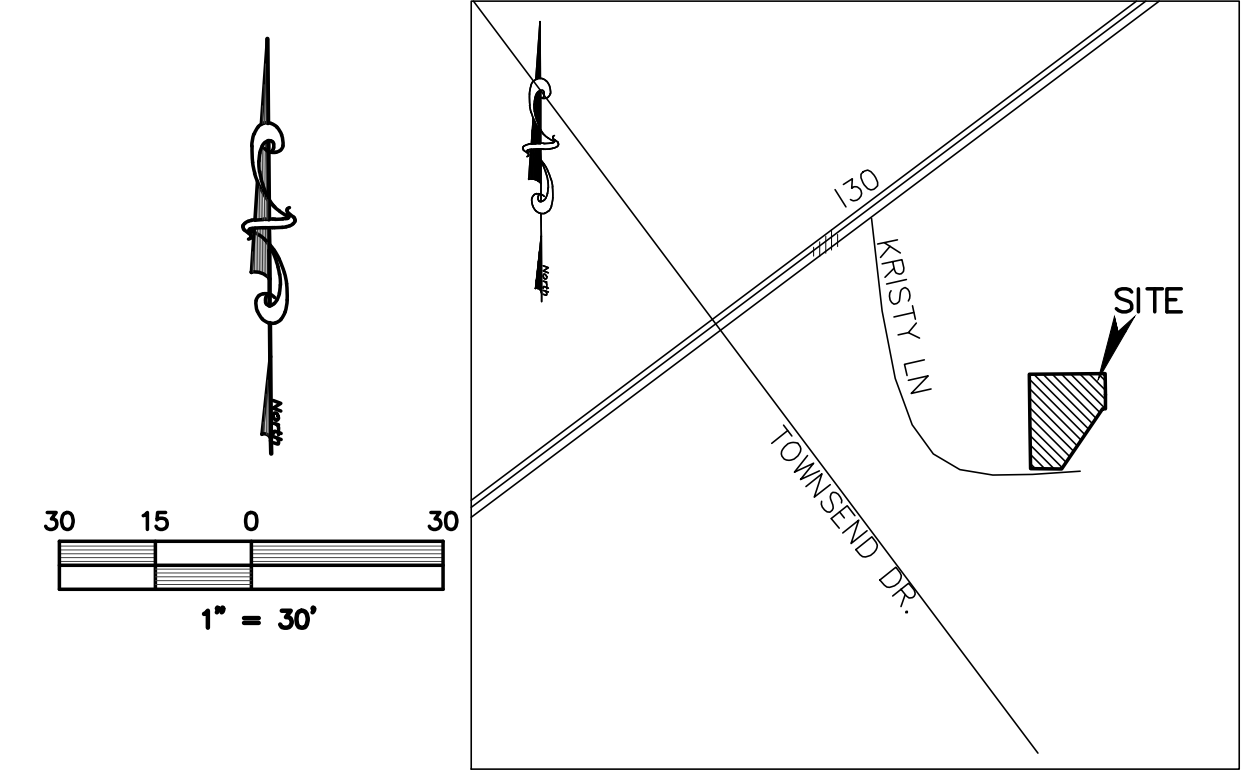
IMPERVIOUS AREA (including buildings):
Existing: 106,733 sq.ft.
Proposed: 17,594 sq.ft.
NEW TOTAL: 124,327 sq.ft.

ZONING:
LI

PARKING:
Required:
Office (1/300sf) = 42
Warehouse (1/1000sf) = 11
TOTAL = 53
Provided:
Existing Standard = 159
Proposed = 15
Handicap = 6
Total Provided = 179

LANDSCAPE AREA:
Required: (15%) 23,294 sq.ft.
Existing Provided: 48,561 sq.ft.
Proposed Provided: 30,967 sq.ft.

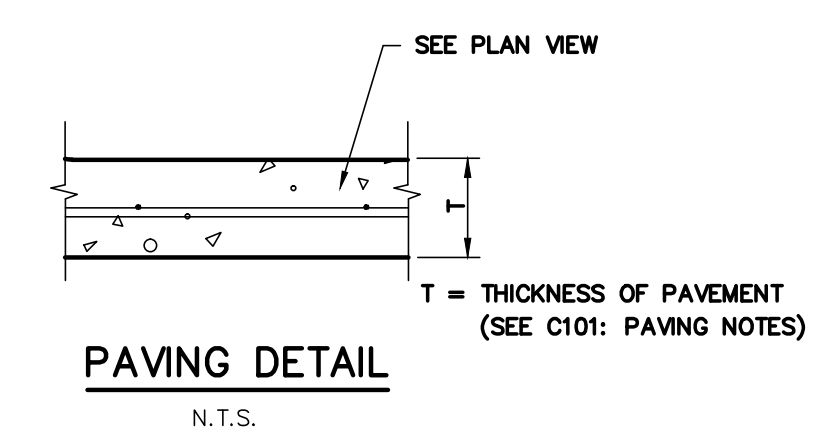
FIRESPRINKLER:
YES
* THERE ARE EXIST. BUILDINGS & TREES ON THIS SITE



LOCATION MAP (NOT TO SCALE)

LEGEND

- = PROPERTY LINE
- - - - - = EXISTING CONTOURS
- 460— = PROPOSED CONTOURS
- = PROPOSED SPOT GRADES
- tc = TOP OF CURB
- ep = EDGE OF PAVEMENT
- tw = TOP OF WALL
- bw = BOTTOM OF WALL
- (ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)
- EX. SS = EXISTING SANITARY SEWER LINE
- EX. W = EXISTING WATER LINE
- FH = EXISTING FIRE HYDRANT
- WM = EXISTING WATER METER
- PP = EXISTING POWER POLE
- LP = EXISTING LIGHT POLE
- T = EX. WATER VALVE
- ⊙ = EXISTING SEWER MANHOLE
- ⊙ = EXISTING GAS METER
- B-B = BACK OF CURB TO BACK OF CURB
- EXIST. or EX. = EXISTING
- PROP. = PROPOSED
- LS = LANDSCAPE
- RCP = REINFORCED CONCRETE PIPE
- min = MINIMUM
- max = MAXIMUM
- ⊙ = PROPOSED FIRE HYDRANT
- = EXISTING FIRELANE



INSTALL:
(1) 8"x6" TAPPING SLEEVE
(1) 6" VALVE
FIRE SPRINKLER SYSTEM

INSTALL:
RPZ IN BLDG W/ FIRE DEPT.
CONNECTION ON 4" FIRE LINE

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

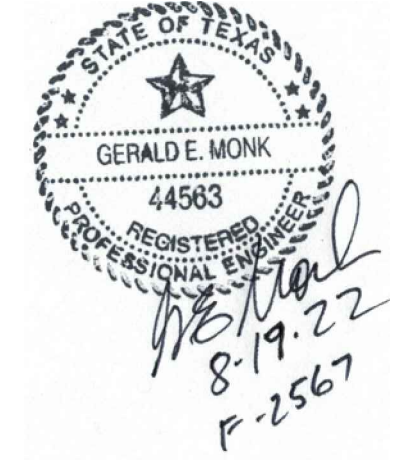
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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CASE # SP2022-XXX

SITE PLAN

BACON PLUMBING OFFICE PHASE 2

2055 KRISTY LANE
LOT 1-M, BODIN INDUSTRIAL TRACT, 3.54 ACRES
City of Rockwall, Rockwall County, Texas

owner
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295 Ranch Trail, Rockwall, Texas 75032
Contact: Brad Bacon (972)236-5794

prepared by
MONK CONSULTING ENGINEERS, INC.
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

REG No.: F-2567
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date: 8/19/22 scale: 1" = 30' sheet: C101

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/21/2022

PROJECT NUMBER: SP2022-051
PROJECT NAME: Site Plan for S&A Systems
SITE ADDRESS/LOCATIONS: 992 SIDS RD

CASE MANAGER: Henry Lee
CASE MANAGER PHONE: 972.772.6434
CASE MANAGER EMAIL: hlee@rockwall.com

CASE CAPTION: Discuss and consider a request by Terry Lee of A-1 Services on behalf of Don Rakow and Don Sryqley of S & A Systems, Inc. for the approval of an Amended Site Plan for an existing Office/Manufacturing facility on a two (2) acre parcel of land identified as Lot 1, Block 1, Pott Shrigley Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 43 (PD-43) for Commercial (C) District land uses, addressed as 922 Sids Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	09/21/2022	Needs Review

09/21/2022: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for an existing Office/Warehouse facility on a 0.50-acre parcel of land identified as Lot 1, Block A, Bacon Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2055 Kristy Lane.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2022-051) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), the Planned Development District 43 (PD-43) Standards, the Commercial (C) District Standards, and the Development Standards of Article 05, that are applicable to the subject property.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Site Plan:

1. Please provide the following information in a table:

- a. Total lot area in acres and SqFt.
- b. Building footprint.
- c. Lot coverage.
- d. Impervious coverage.
- e. Required parking and provided parking.
2. The distance between the building and the southwest property line. (Subsection 03.04. B, of Article 11)
3. Please indicate the building setback, which is 15-feet. (Subsection 03.04. B, of Article 11)
4. Please indicate any existing and proposed easements. (Subsection 03.04. B, of Article 11)
5. Label the fire lane as "Fire Lane, Public Access, and Utility Easement." (Subsection 03.04. B, of Article 11)
6. Please label the adjacent street and the adjacent property information. (Subsection 03.04. B, of Article 11)
7. Parking spaces adjacent to the building shall be 20x9 and the others may be 18x9. (Engineering Standards of Design and Construction)
8. Please indicate any existing and proposed fencing. (Subsection 03.04. B, of Article 11)
9. Indicate any ground mounted utility equipment and the subsequent screening. (Subsection 01.05. C, of Article 05)
10. Indicate any roof mounted utility equipment and crosshatch it on the building elevations. (Subsection 01.05. C, of Article 05)
11. There shall be no outside storage. (Article 04)
12. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. The minimum enclosure area shall be 12'x10'. A minimum of 6" bollards will be required at potential impact zones and the pad site shall be paved to city standards. Five (5) gallon shrubs must also be planted around the enclosure.

M.7 Landscape Plan

1. The comments within this section shall be incorporated on the site plan (i.e. a landscape plan will not need to be drafted).
2. There shall be one (1) canopy and one (1) accent tree per 50-linear feet of frontage on Sids Road. In this case there needs to be five (5) canopy and five (5) accents trees along Sids Road. The existing canopy trees can be used towards the five (5) canopy trees. (05.03, of Article 08)
3. Please indicate the ten (10) landscape buffer along Sids Road. (05.03, of Article 08)
4. All parking spaces shall be within 80-feet of a canopy tree. In this case, move the proposed canopy trees along the northeast property line closer to the parking spaces. (05.03, of Article 08)
5. Provide a note indicating that the irrigation will meet the requirements of the UDC. (05.03, of Article 08)
6. Please provide a Treescape Table that indicates the trees being removed; it must include the species and size of the trees. Any trees being removed must be mitigated for on site. To mitigate for removed trees new trees will need to be planted on site or they must be paid for at \$100.00 a caliper inch. (05.03, of Article 08)

M.8 Building Elevations:

1. The wall length exceeds three (3) times the height of the building. (Subsection 05.01, of Article 05)
2. Please crosshatch the roof mounted utility equipment. (Subsection 01.05. C, of Article 05)
3. The minimum roof pitch for a structure in a Commercial (C) District is 6:12. In this case, your roof pitch is 1:12 to match the existing; this will require an exception.

M.9 If any lighting fixtures are being replaced or any new exterior lighting is being added on site, a photometric plan must be provided. (Subsection 03.04 of Article 11)

I.10 Staff has identified the following exceptions associated with the proposed request: [1] secondary façade articulation, and [2] roof pitch. Should you decide to request these items as exceptions, please provide a letter that lists the exceptions, why they are being requested, and the subsequent compensatory measures. For each exception requested you must provide two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, etc.

I.11 Please note that failure to address all comments provided by staff by 3:00 PM on October 4, 2022 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on October 4, 2022; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the October 11, 2022 Planning & Zoning Meeting.

I.13 Please note the scheduled meetings for this case:

- 1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- 2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.14 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review

- 09/21/2022: - Will you need an additional water meter?
- Fire department may need an additional hydrant to get proper coverage.
- What is this line near the new water line?
- Must have a fire department approved turnaround.
- Where is the detention area?
- FYI sewer line has not been extended yet.

The following items are informational for the engineering design process.

General Items:

- Must meet City Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Wastewater & Roadway)
- Minimum easement width is 20' for new easements. No structures allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
- Must use updated notes

Roadway Paving Items:

- Parking to be 20x9' minimum.
- No dead-end parking allowed without City approved turnaround
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement. - Street cost for shared portion of roadway to be paid.
- Either build 24' of Sids or escrow.

Water and Wastewater Items:

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Must have an oil/water separator for the dumpster drainage and must connect to the storm lines.
- Fire hydrants to have 5' clearance around them.
- Will likely need a new fire hydrant to get proper coverage.
- Update on Srygly Sewer line?
- Sewer pro-rata of \$401.89/acre

Drainage Items:

- Detention is required for new impervious surfaces.
- No walls in detention.
- Maximum slope is 4:1

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Rusty McDowell	09/20/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	09/20/2022	Needs Review

09/20/2022: The site plan does not indicate fire lane, fire hydrant, or fire department connection (FDC) locations. Please review and resubmit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	09/19/2022	Approved

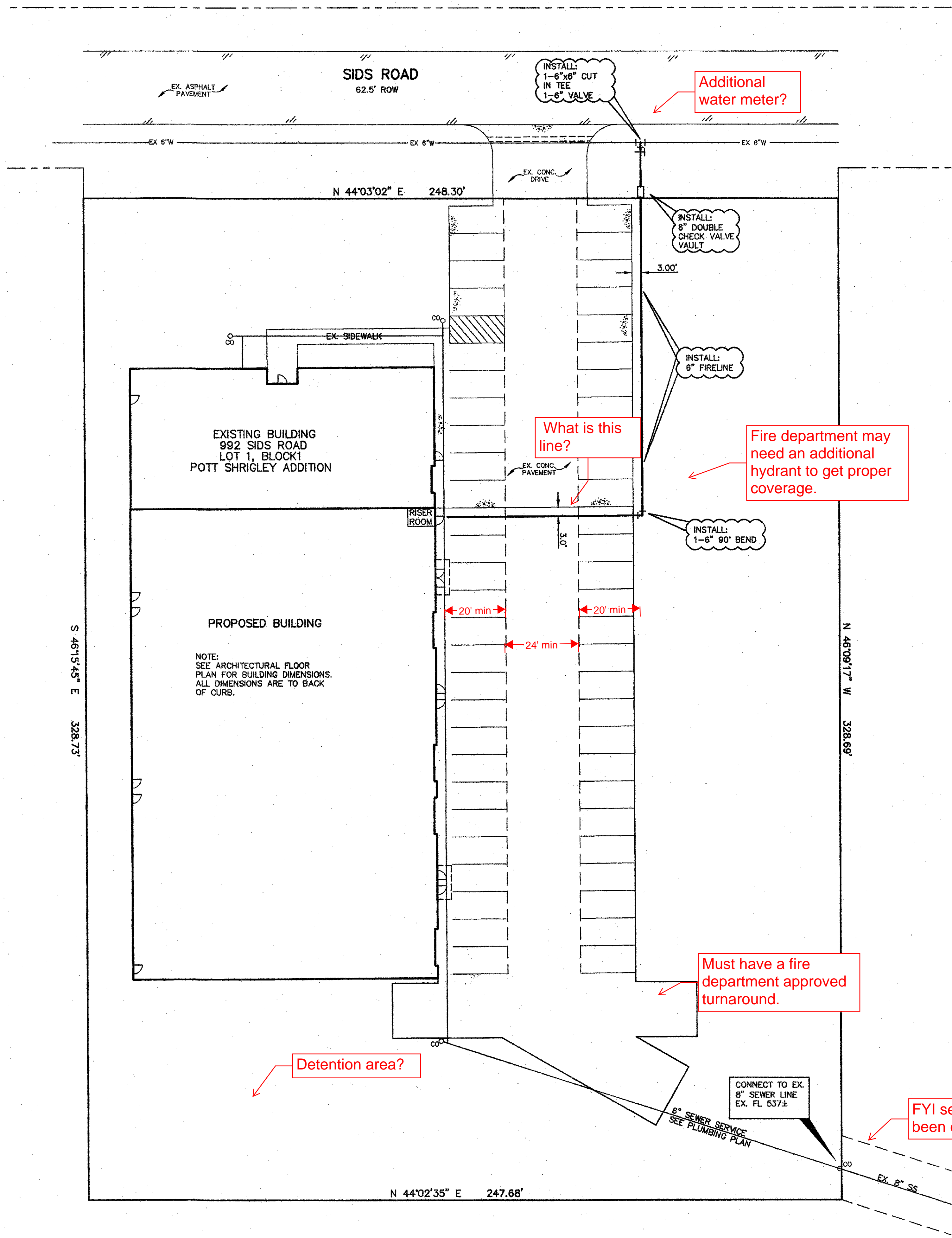
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	09/19/2022	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	09/19/2022	Approved w/ Comments

09/19/2022: Please provide a landscape plan for this project

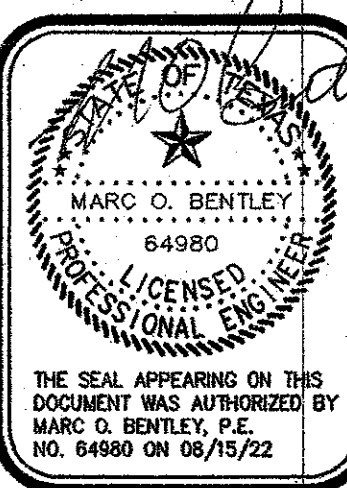


GENERAL NOTES

- All work shall be in accordance with the 3rd Edition of the City Standards of Design and Construction.
- Two year maintenance period for all work.
- Engineering design shall be in accordance with the City Standards of Design and Construction.
- All water lines shall be installed in accordance with the City Standards of Design and Construction.
- Water mains shall be installed in accordance with the City Standards of Design and Construction.
- Fire hydrants shall be installed in accordance with the City Standards of Design and Construction.
- Manhole rings shall be installed in accordance with the City Standards of Design and Construction.
- Contractor shall be responsible for the deflection of all utility lines.
- Valves shall be installed in accordance with the City Standards of Design and Construction.
- Trench excavations shall be in accordance with the provisions of Occupational Safety and Health (OSHA) 29 CFR 1926.650 Trench Safety.
- The locations of all utility lines shall be shown on the contract documents. The Contractor shall be responsible for the accuracy of the utility line locations.
- It shall be the responsibility of the Contractor to verify the locations of all utility lines before construction.
- All reinforced concrete shall be in accordance with the City Standards of Design and Construction.
- Megalugs at all manholes shall be in accordance with the City Standards of Design and Construction.
- Blue EMS location shall be in accordance with the City Standards of Design and Construction.
- Fire hydrants shall be installed in accordance with the City Standards of Design and Construction.
- Water and Sewer Contractor shall be responsible for the installation of service lines to the main and backflow preventers.
- Green EMS location shall be in accordance with the City Standards of Design and Construction.

- General Items:**
- Must meet City Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Wastewater & Roadway)
 - Minimum easement width is 20' for new easements. No structures allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.
 - Must use updated notes
- Roadway Paving Items:**
- Parking to be 20x9' minimum.
 - No dead-end parking allowed without City approved turnaround
 - Drive isles to be 24' wide.
 - Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane to be in a platted easement.
 - Street cost for shared portion of roadway to be paid.
 - Either build 24' of Sids or escrow.
- Water and Wastewater Items:**
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Must have an oil/water separator for the dumpster drainage and must connect to the storm lines.
 - Fire hydrants to have 5' clearance around them.
 - Will likely need a new fire hydrant to get proper coverage.
 - Update on Srygly Sewer line?
 - Sewer pro-rata of \$401.89/acre
- Drainage Items:**
- Detention is required for new impervious surfaces.
 - No walls in detention.
 - Maximum slope is 4:1
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Marc Bentley, PE
 CIVIL ENGINEER
 1855 EMERALD BAY
 ROCKWALL, TEXAS 75087
 PH: 214-957-1406



WATER/SEWER PLAN
 S & A SYSTEMS, INC
 CITY OF ROCKWALL, TEXAS

No.	Date	Revision

Scale: 1"=20'
 File Name: BASESITE
 Date: AUG 2022
 Project No.: 2022105

Sheet **C1**

FOR ADEQUACY OF THE DESIGN ENGINEER, IN REVIEWING AND CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CALL BEFORE YOU DIG

Z:\Projects\2022\2022105_Rockwa1\basessite.dwg Sun Aug 14 10:59:07 2022



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 922 Sios Rd.

SUBDIVISION POTT SHRIGLEY ADDITION

LOT 1 BLOCK 1

GENERAL LOCATION Sios & Goliad Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-43

CURRENT USE Light Assyly & FABRICATION

PROPOSED ZONING PD-43

PROPOSED USE Light Assyly & FABRICATION

ACREAGE 2.0

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER S & A Systems, Inc.

APPLICANT A-1 SERVICES

CONTACT PERSON DON RAKOW/DON SHRIGLEY

CONTACT PERSON TERRY LEE

ADDRESS 922 Sios Rd.

ADDRESS 1623 S. PEACHTREE ROAD

CITY, STATE & ZIP Rockwall, Tx. 75082

CITY, STATE & ZIP Balch Springs, Tx. 75180

PHONE 972-722-1009

PHONE 817-771-3993

E-MAIL DON.RAKOW@FLEETWATCH.COM

E-MAIL TERRY@PELTONDNC.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED J.G. Shrigley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

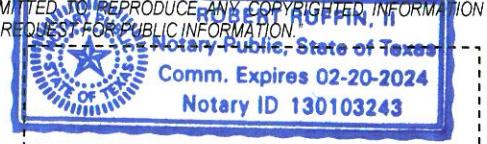
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 16 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF SEPTEMBER, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (THE "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF September, 20 22

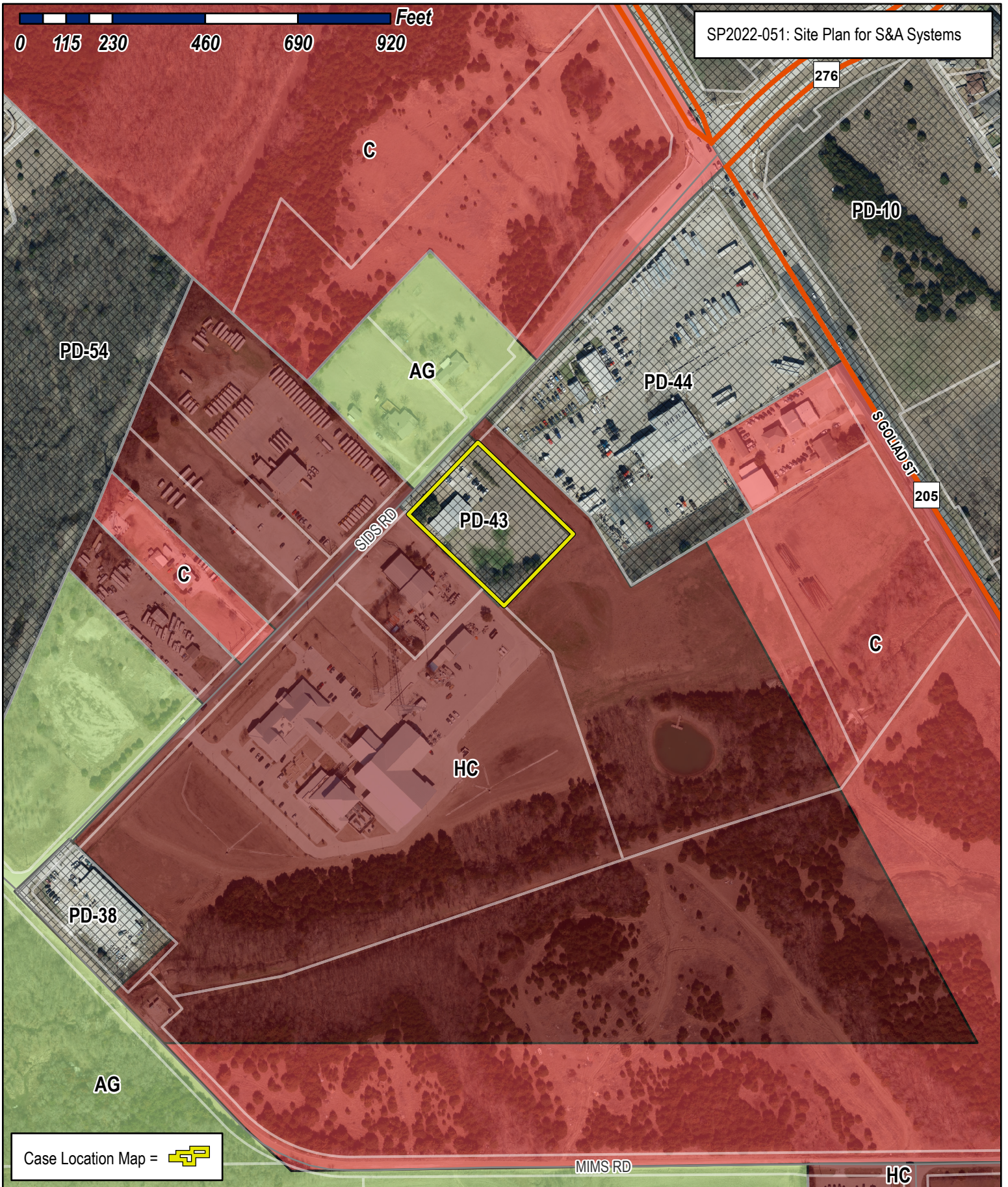
OWNER'S SIGNATURE


J.G. Shrigley

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 02/20/2024



Case Location Map = 

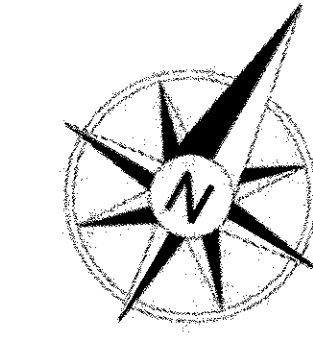
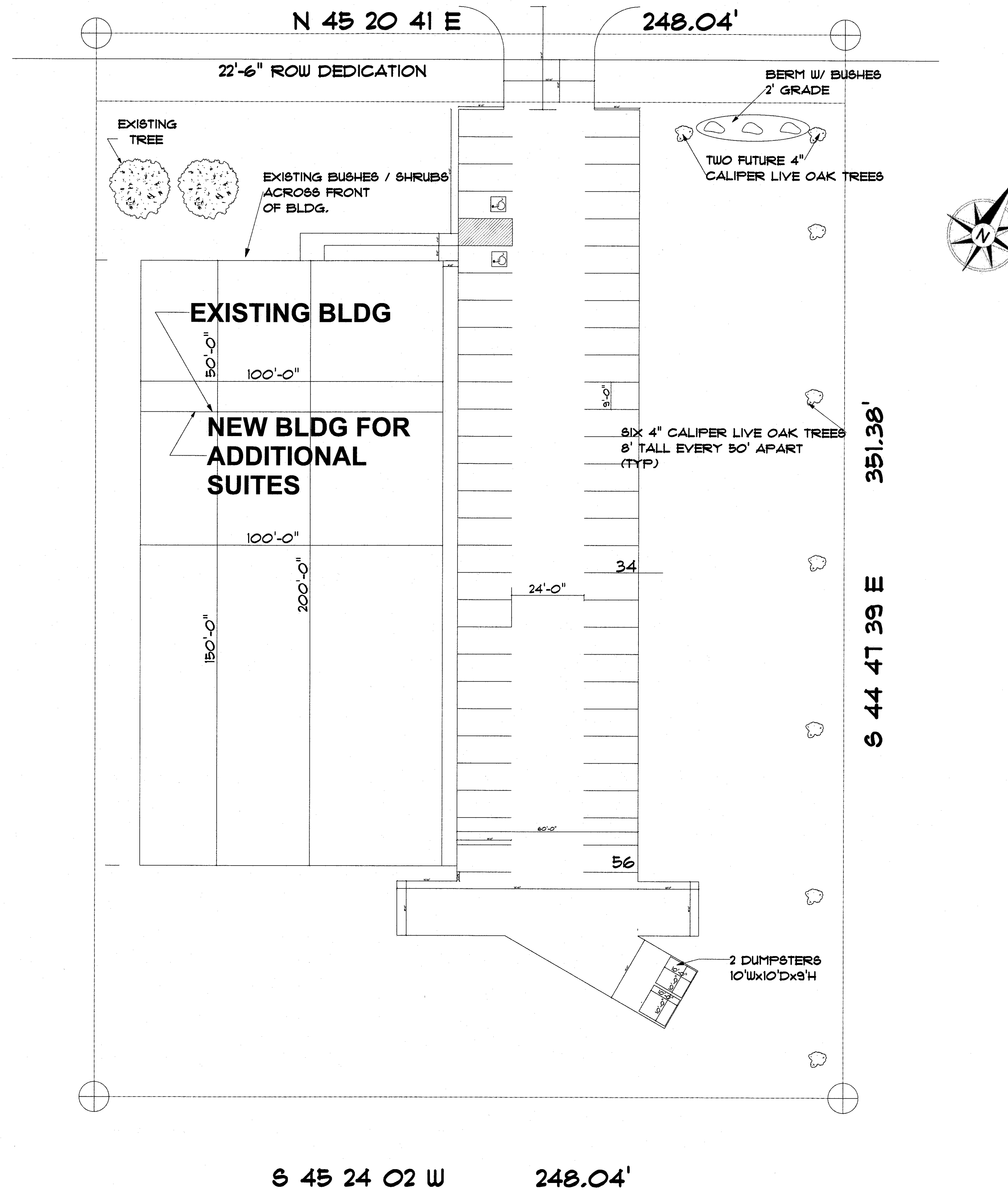


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

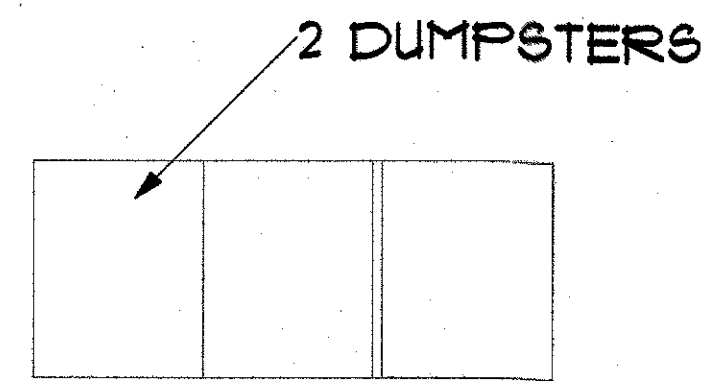
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



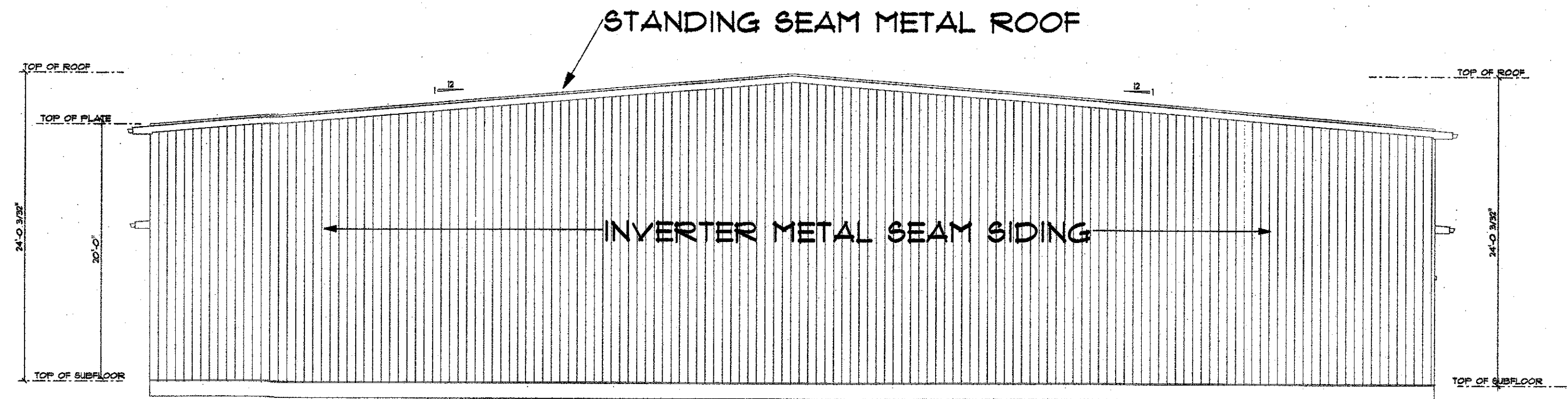
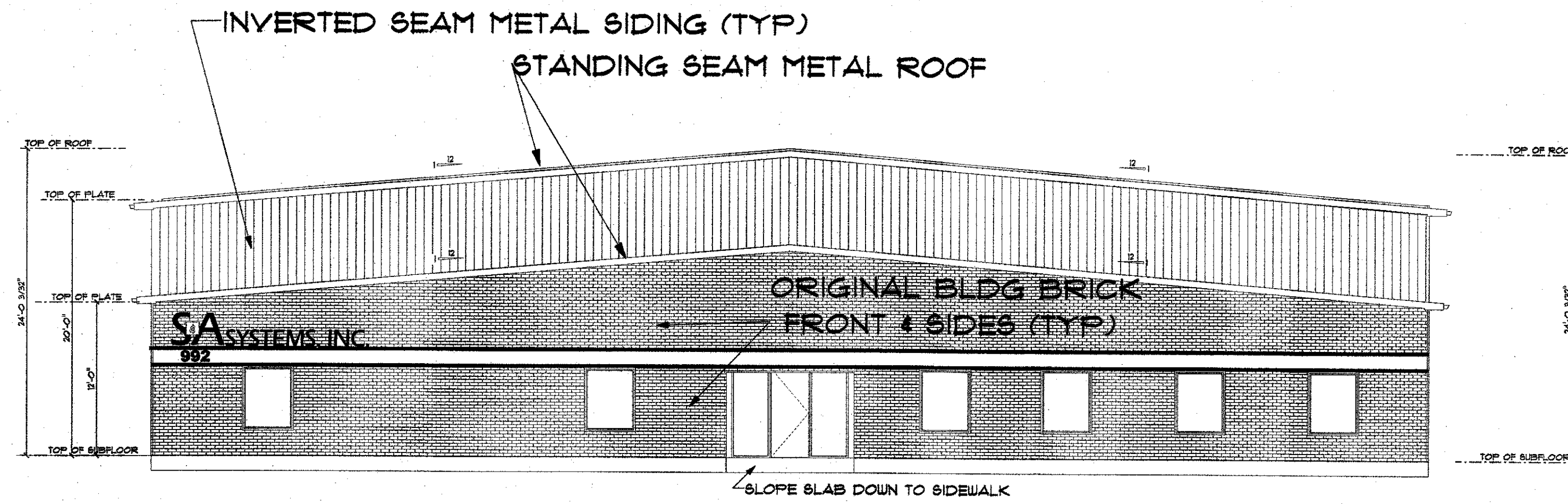


SITENEW
SCALE: 0.0547" = 1'-0"

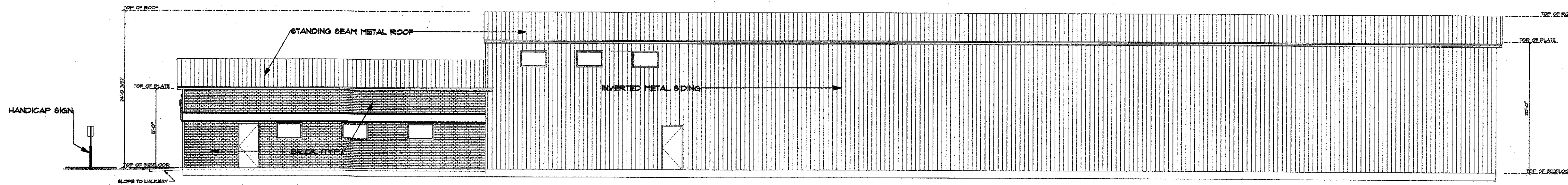
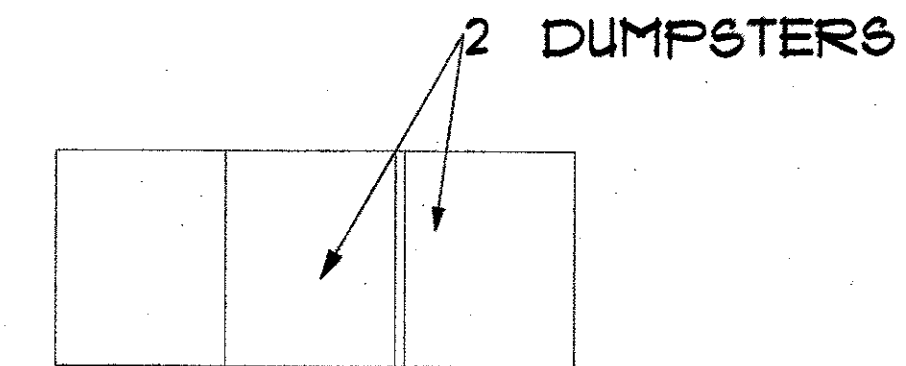
S&A SYSTEMS, INC. 892 Side Rd. Rockwall Texas 75082 PHONE: 972-722-1009 FAX: MOBILE:	D Designs CUSTOM HOME DESIGNS	SCALE: 0.0547" = 1'-0" DRAWN BY: Dan Daugherty DATE: Monday, September 12, 2022	SECTION LETTER A	PAGE NUMBERS 11
		APPROVED:	CHECKED BY:	PAGE: 4/5 SITE PLAN: new



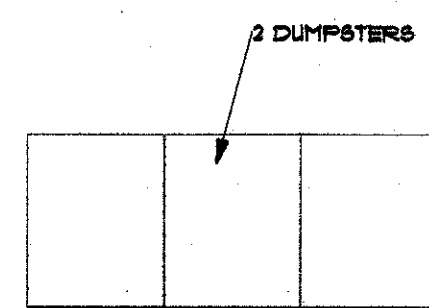
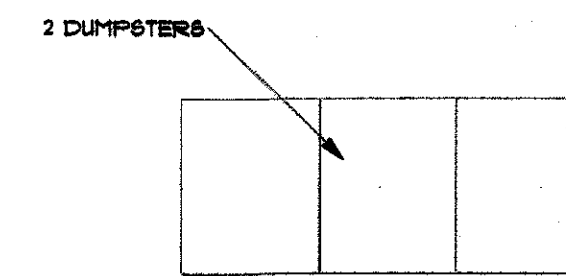
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



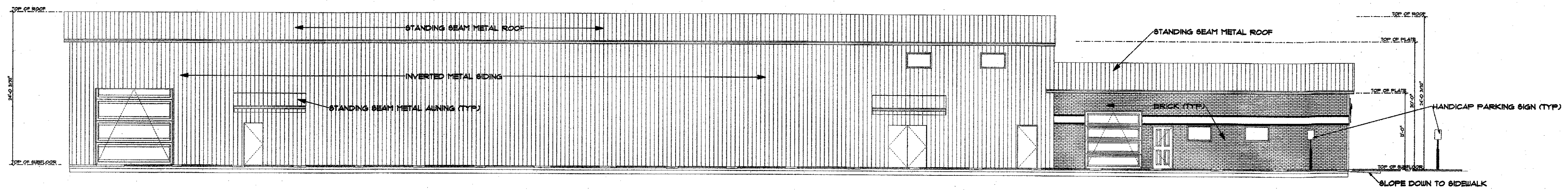
REAR ELEVATION
SCALE: 1/8" = 1'-0"



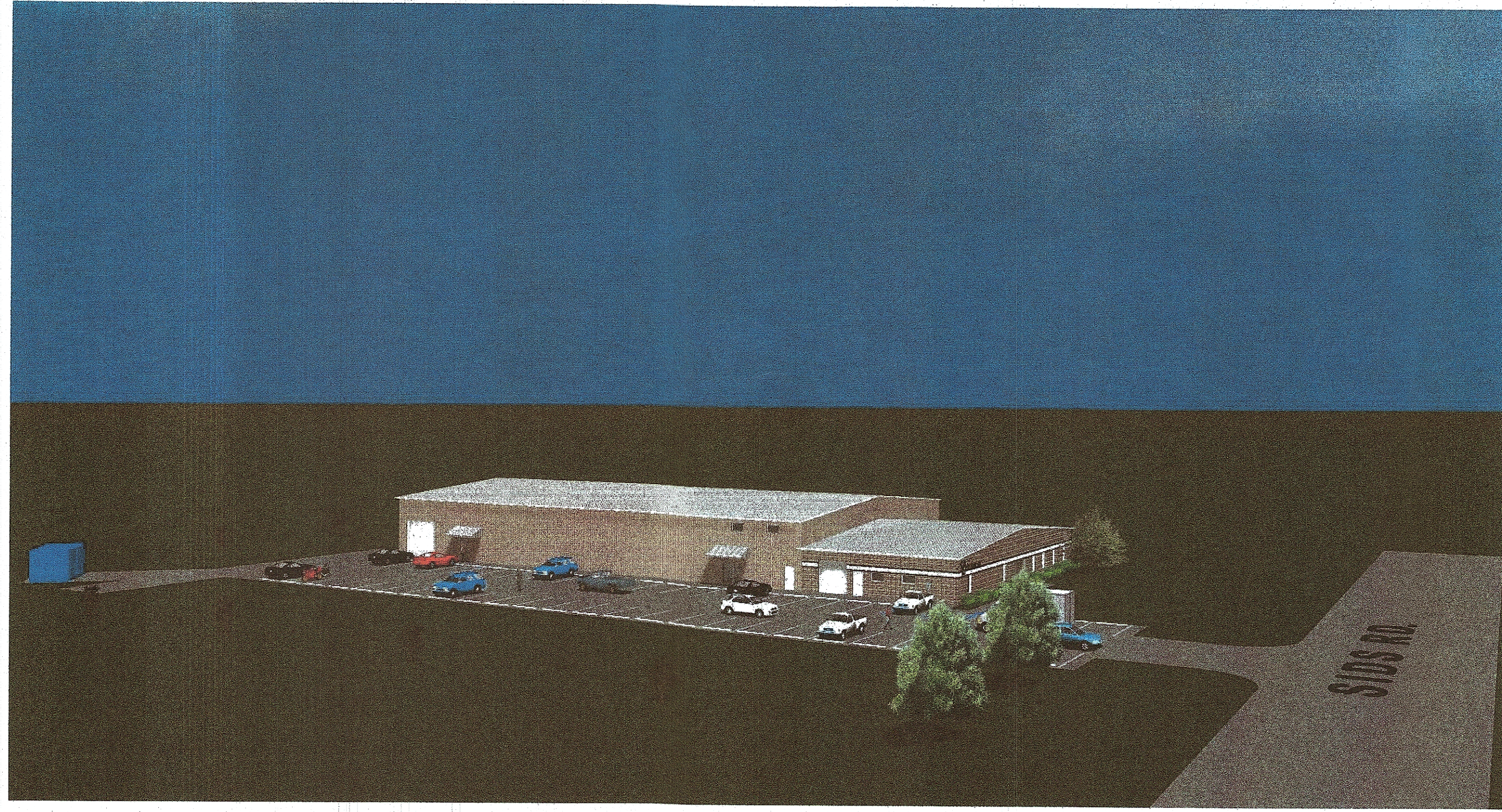
RIGHT ELEVATION
SCALE: 1" = 10'-0"



LEFT ELEVATION
SCALE: 1" = 10'-0"



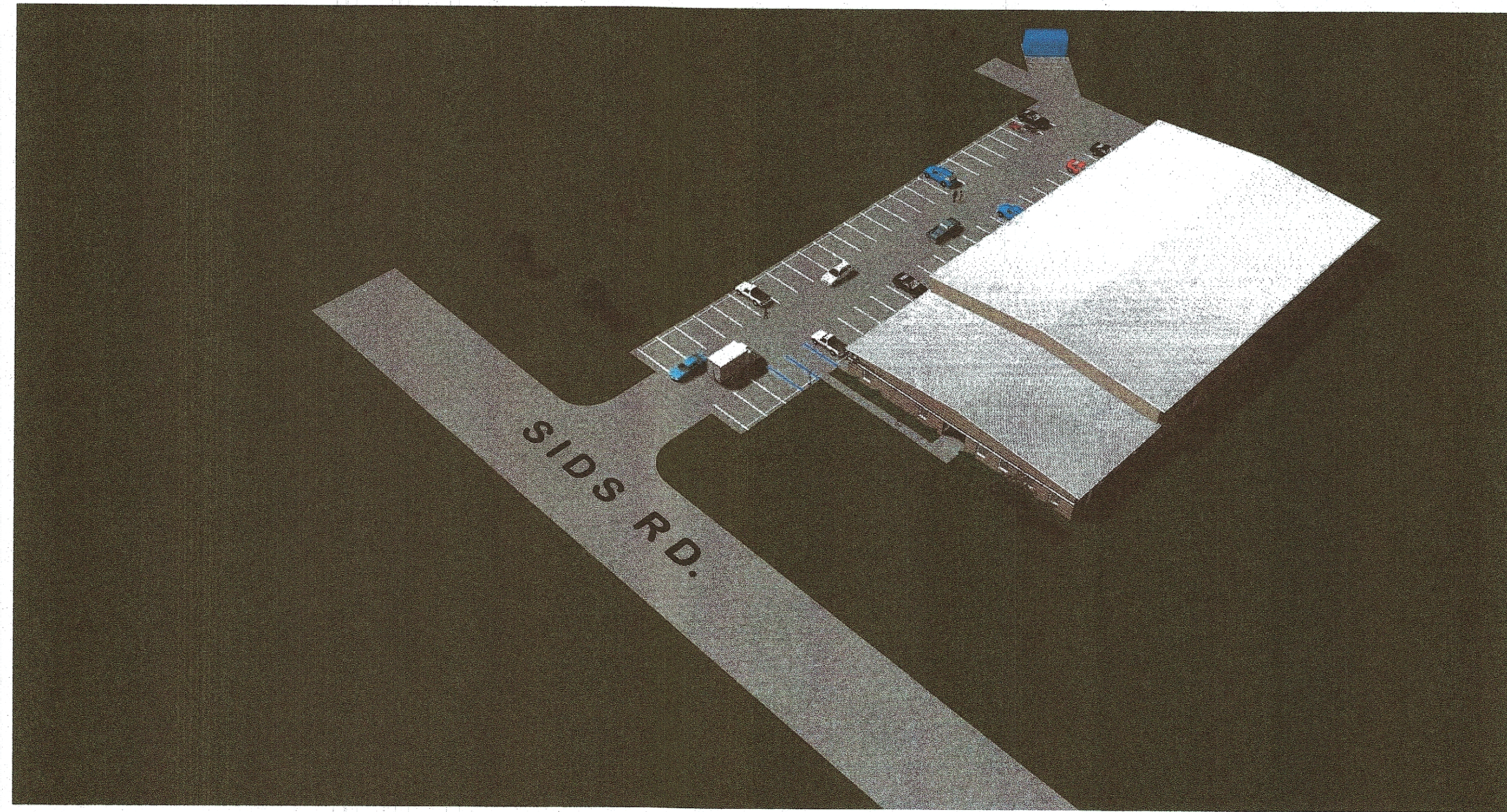
INITIAL BUILD VIEWS



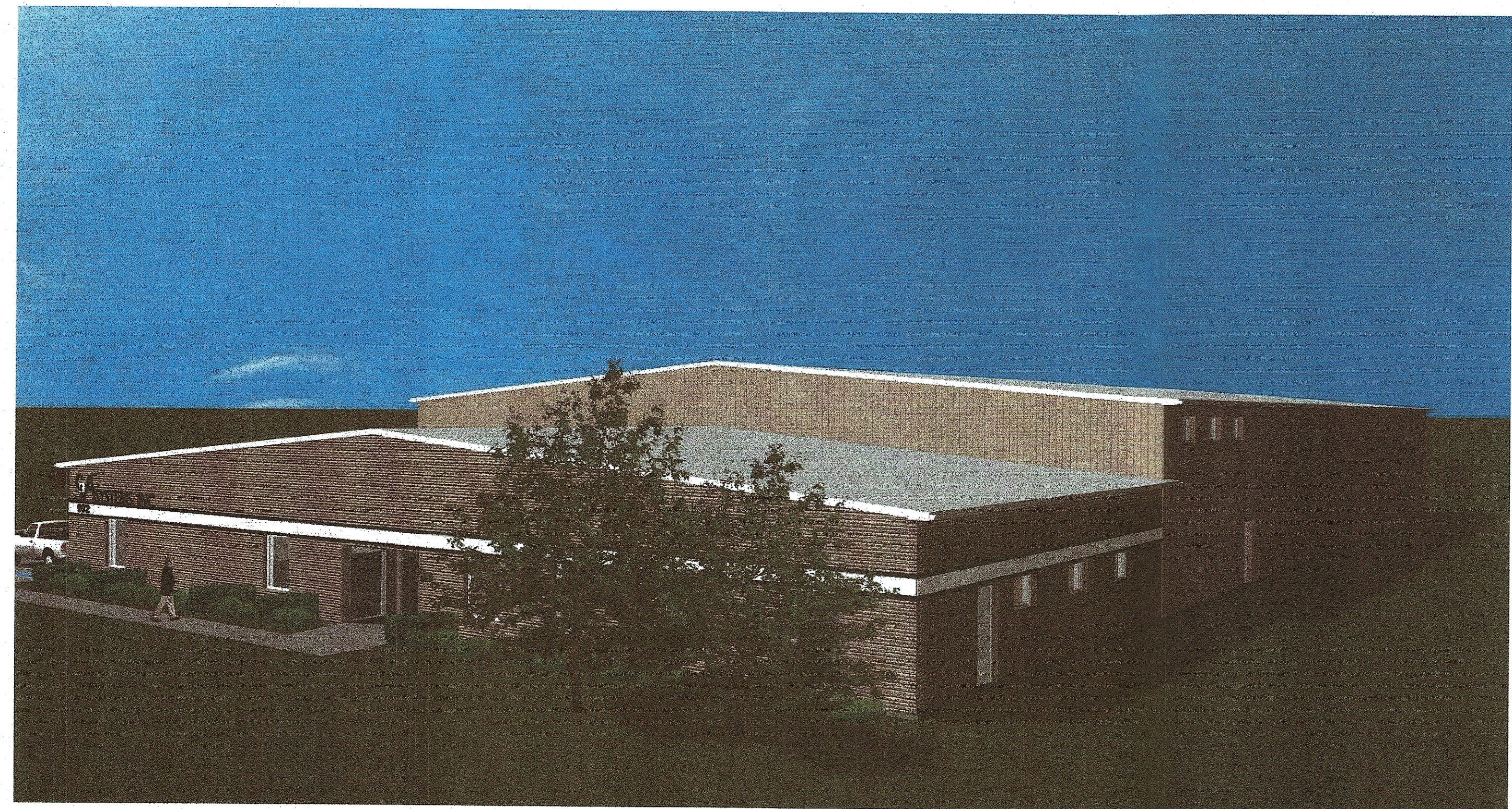
A



C



B



D

S&A SYSTEMS, INC.
 992 Side Rd.
 Rockwall
 Texas
 75082

D Designs
 CUSTOM HOME DESIGNS

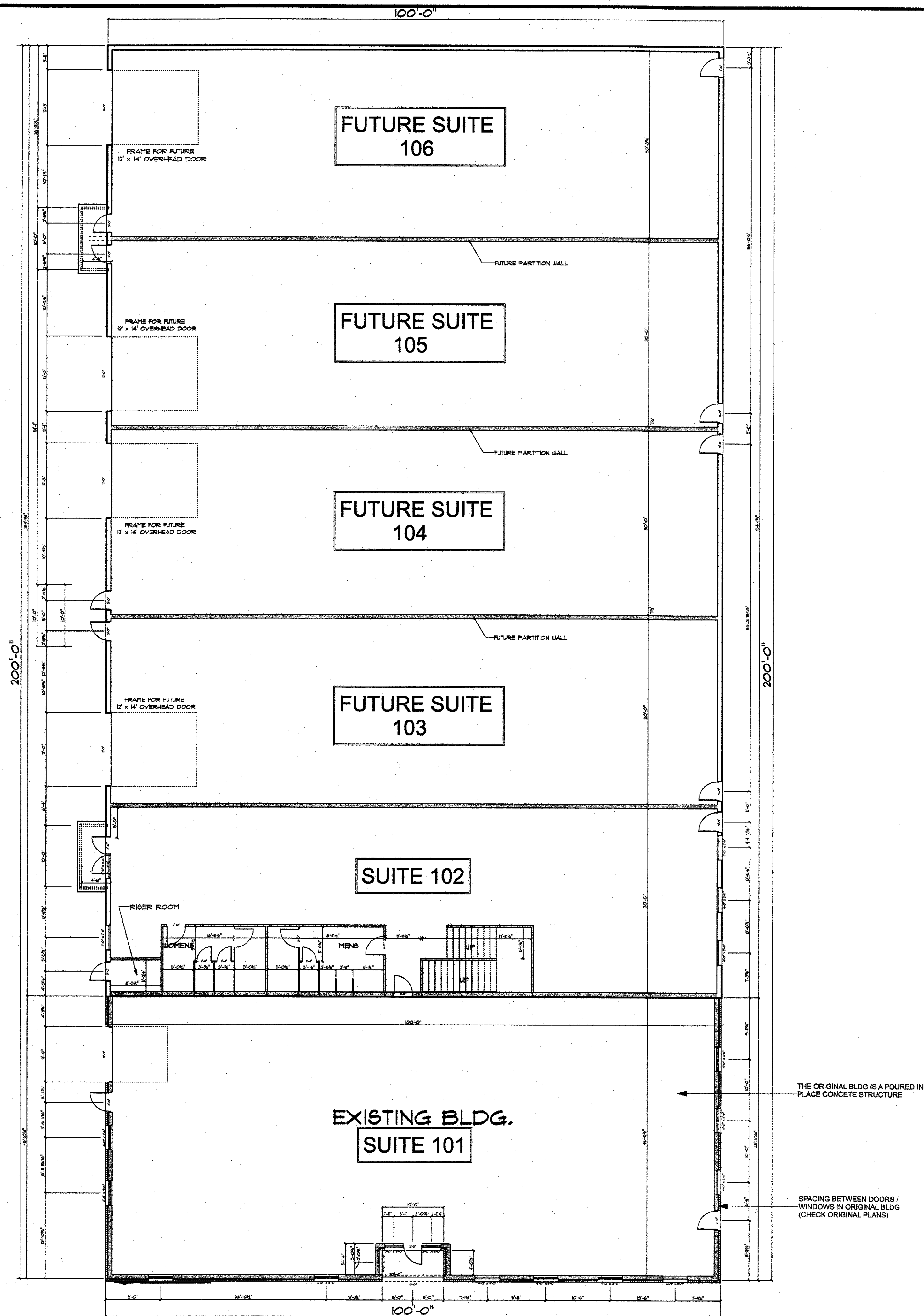
PHONE: 908-821-8298
 FAX:
 MOBILE:

SCALE: As Noted
 DRAWN BY: Dan Daugherty
 DATE: Wednesday, July 27, 2022

SECTION LETTER
 A
 PAGE NUMBERS
 11

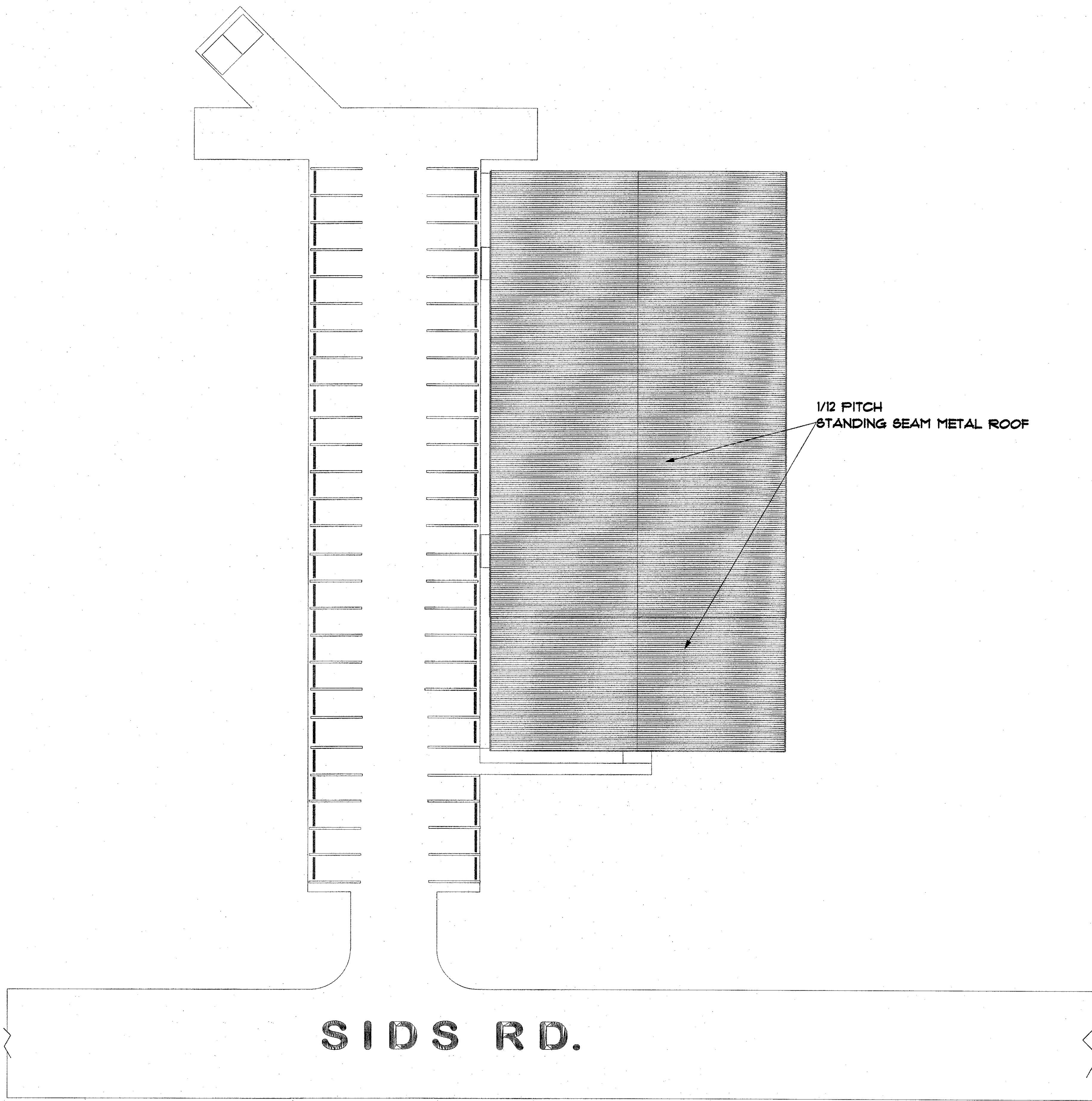
APPROVED: Dan Daugherty
 CHECKED BY:

PAGE: 5 / 5
 PERSPECTIVE



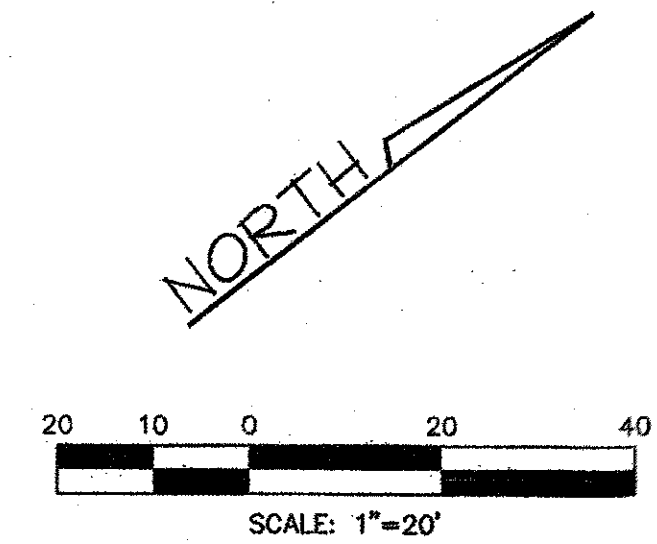
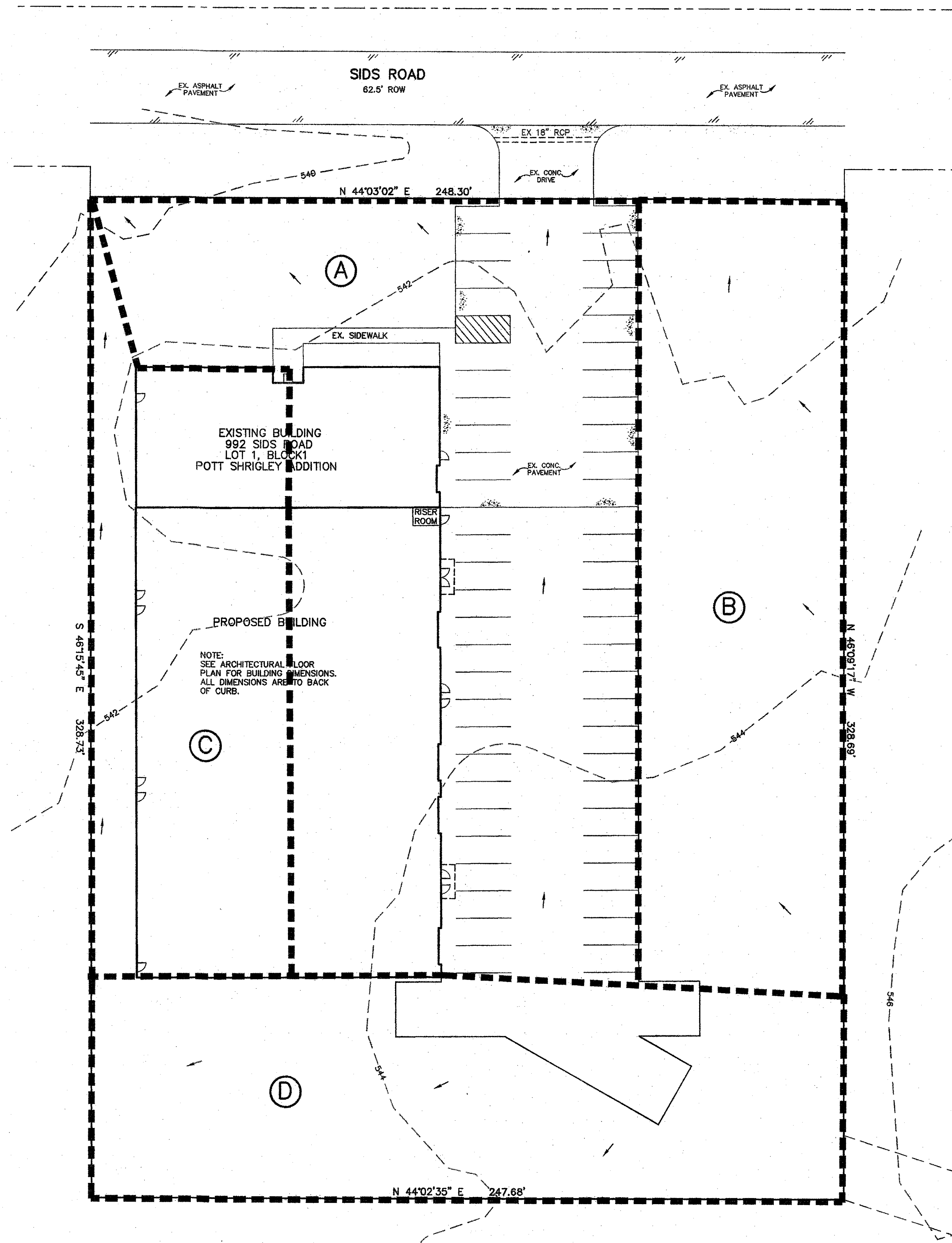
MAIN FLOOR
SCALE: 0.1018" = 1'-0"

S&A SYSTEMS, INC. 982 Side Rd. Rockwall Texas 75082 PHONE: 972-722-1009 FAX: MOBILE:	D Designs CUSTOM HOME DESIGNS	SCALE: 0.1018" = 1'-0" DRAWN BY: Dan Daugherty DATE: Wednesday, July 27, 2022	SECTION LETTER A	PAGE NUMBERS 1/5
		APPROVED: CHECKED BY:	FLOOR PLAN	



TOP ELEVATION
SCALE: 1" = 20'-0"

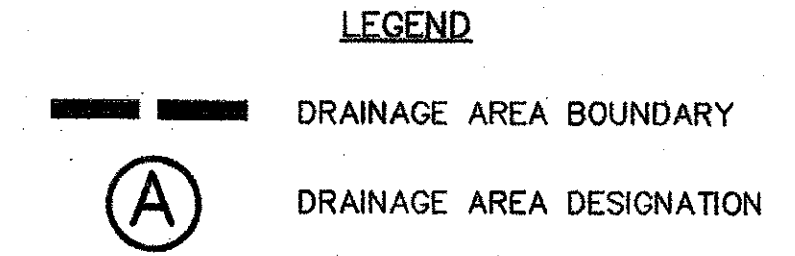
Z:\projects\2022\2022105 Rockwell\basesite.dwg Sat Aug 20 15:31:41 2022



STORM WATER RUNOFF CALCULATIONS

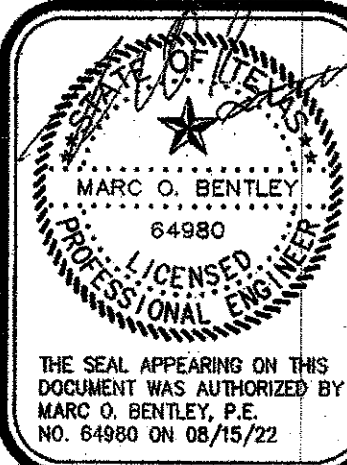
AREA NO.	ACRES	TC (min)	"c"	"I ₁₀₀ " (IN./HR.)	"Q ₁₀₀ " (cfs)	DISCHARGE TO
A	0.77	10	0.9	9.8	6.8	SIDS ROAD
B*	0.40	10	0.9	9.8	3.5	SIDS ROAD
C	0.31	10	0.9	9.8	2.7	SIDS ROAD
D*	0.39	10	0.9	9.8	3.4	ADJACENT PROPERTY

* - INDICATES AREAS TO REMAIN GRASS AND UNDEVELOPED



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

Marc Bentley, PE
CIVIL ENGINEER
1655 EMERALD BAY
ROCKWALL, TEXAS 75087
PH: 214-957-1106



DRAINAGE AREA MAP
S & A SYSTEMS, INC
CITY OF ROCKWALL, TEXAS

No.	Date	Revision

Scale: 1"=20'
File Name: BASESITE
Date: AUG 2022
Project No.: 2022105

Sheet
C3

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 9/22/2022

PROJECT NUMBER: SP2022-052
PROJECT NAME: Amended Site Plan for Everybody Massage
SITE ADDRESS/LOCATIONS: 2001 RIDGE RD

CASE MANAGER: Bethany Ross
CASE MANAGER PHONE: (972) 772-6488
CASE MANAGER EMAIL: bross@rockwall.com

CASE CAPTION: Discuss and consider a request by Jeff Carroll of Jeff Carroll Architects on behalf of Susan Gamez of Everybody Massage for the approval of an Amended Site Plan for an existing Massage Therapist facility on a 0.48-acre tract of land identified as Lot 1, Block A, Everybody Massage Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 2001 Ridge Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Sarah Johnston	09/21/2022	Needs Review
09/21/2022: - Detention was previously calculated for the paving area. Detention for the building expansion will be required. - Is the existing gravel/asphalt drive going to be removed? - 24x15' turnaround must be striped as no parking.			
BUILDING	Rusty McDowell	09/20/2022	Approved
No Comments			
FIRE	Ariana Kistner	09/20/2022	Needs Review
09/20/2022: The site plan does not indicate fire lane or fire hydrant locations. Please review and resubmit.			
GIS	Lance Singleton	09/19/2022	Approved
No Comments			
POLICE	Chris Cleveland	09/19/2022	Approved
No Comments			
PARKS	Travis Sales	09/19/2022	Approved
No Comments			
PLANNING	Bethany Ross	09/22/2022	Approved w/ Comments

I.1 This is a request by Jeff Carroll of Jeff Carroll Architects on behalf of Susan Gamez of Everybody Massage for the approval of an Amended Site Plan for an existing Massage Therapist facility on a 0.48-acre tract of land identified as Lot 1, Block A, Everybody Massage Addition, City of Rockwall, Rockwall County, Texas, zoned Residential Office (RO) District, addressed as 2001 Ridge Road.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com. October 4, 2022 is the deadline to have all comments; please provide staff revised plans before October 4, 2022 to ensure all comments are addressed.

M.3 For reference, include the case number (SP2022-052) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02. D, Article 11, UDC)

M.4 Provide a numeric and graphic scale for reference on every page of each plan. (Subsection 03.04.A, of Article 11)

M.5 Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)

M.6 Site Plan

- (1) Indicate the distance between all property lines and existing and planned buildings located on the site. (Subsection 03.04.B, of Article 11)
- (2) Indicate all building setbacks adjacent to the Right-of-Way. (Subsection 03.04. B, of Article 11)
- (3) Indicate all utilities both existing and proposed. (Subsection 03.04.B, of Article 11)
- (4) Indicate all drive/turning radii. (Subsection 03.04.B, Article 11)
- (5) Indicate all drive widths. (Subsection 03.04.B, of Article 11)
- (6) Indicate the type and depth of the paving material and provide a detail or cutsheet. (Subsection 03.02, of Article 06)
- (7) Indicate the location and type of all proposed and/or existing signage on the site plan. (Subsection 06.02.F, of Article 05)
- (8) Are there any roof mounted or pad mounted utility equipment? If so, indicate them on the site plan and building elevations and show any subsequent required screening (e.g. screening with taller parapets or adding louver screening). (Subsection 01.05. C, of Article 05)

M.7 Photometric Plan:

- (1) If any lighting is added:
 - (a) Please provide a photometric plan indicating the light levels of any lighting added to the site including wall packs and indicate the light levels throughout the property. (Subsection 03.03, of Article 07)
 - (b) The allowable maximum light intensity measured at the property line of a non-residential property shall be 0.2 of one foot candle. (Subsection 03.03.C, of Article 07)
 - (c) The maximum outdoor maintained, computed, measured illumination level within any non-residential development shall not exceed 20 FC at any point on the site. (Subsection 03.03.G, of Article 07)
 - (d) No light pole, base, or combination thereof shall exceed 30 feet. (Subsection 03.03.D, of Article 07)
 - (e) Provide lighting cut sheets that indicates the wattage for each exterior lighting fixture. Light sources (e.g. light bulbs) shall be oriented down and toward the center of the site or shielded so as to not be visible from the property line. (Subsection 03.03, of Article 07)

M.8 Building Elevations:

- (1) Please provide a numeric and graphic scale as well as horizontal and vertical measurements of each façade.
- (2) Indicate the surface area of each façade and the square footage of each material used on that façade. (Subsection 04.01, of Article 05)
- (3) Provide all specifications and descriptions of each proposed building materials and please provide a physical material sample board that meets the City's submittal requirements before the September 27, 2022 Architecture Review Board meeting. (Subsection 04.01 of Article 5)
- (4) All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited. Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. In this case, the proposed building has less than a 6:12 roof pitch. This will require an exception. (Subsection 04.01A.1, of Article 05)

(5) The maximum wall length shall not exceed three (3) times the hall height. In this case, the wall length on all proposed facades exceeds this maximum. This will require an exception to the building articulation standards. (Figure 7, Article 05)

I.9 Based on the materials submitted staff has identified the following exceptions for this project:

- (1) Parking. According to Article 06, Parking and Loading, of the Unified Development Code (UDC) an Office Building shall be parked at 1 parking spaces for every 300 SF of building space. In this case the required parking spaces would be 14. The applicant has provided 13 spaces.
- (2) Roof Pitch. According to Article 05, Development Standards, of the Unified Development Code (UDC), "All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch)..." In this case, the proposed roof pitch is 4:12 which is characteristic of the existing building but is still considered an exception to the code and will require compensatory measures.
- (3) Building Articulation. According to Article 05, Development Standards, of the Unified Development Code (UDC), all primary and secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01C2. This is characteristic of the existing building but is still considered an exception to the code and will require compensatory measures.

M.10 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In this case, staff has identified three (3) exceptions. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and the six (6) required compensatory measures.

M.11 Please review and correct all items listed by the Engineering Department.

I.12 Please note the scheduled meetings for this case:

- (1) Planning & Zoning Work Session meeting will be held on September 27, 2022.
- (2) Planning & Zoning meeting/public hearing meeting will be held on October 11, 2022.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2001 RIDGE ROAD

Subdivision

Lot

Block

General Location NEC Ridge Rd & YELLOWJACKET RD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Comm/Resid.

Current Use MASSAGE

Proposed Zoning SAME

Proposed Use SAME

Acreage 0.48

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner EVERYBODY MASSAGE

Applicant CARROLL ARCHITECTS

Contact Person SUSAN GAMEZ

Contact Person JEFF CARROLL

Address 2001 Ridge Rd

Address 750 E. I-30

#110

City, State & Zip ROCKWALL TX 75087

City, State & Zip ROCKWALL, TX 75087

Phone 972.679.6635

Phone 214.632.1762

E-Mail everybodymassage@ATT.NET

E-Mail JCB@CARROLLARCH.COM

NOTARY VERIFICATION [REQUIRED]

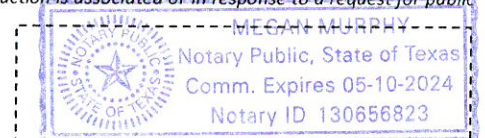
Before me, the undersigned authority, on this day personally appeared Susan Gamez [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of September, 20 22. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

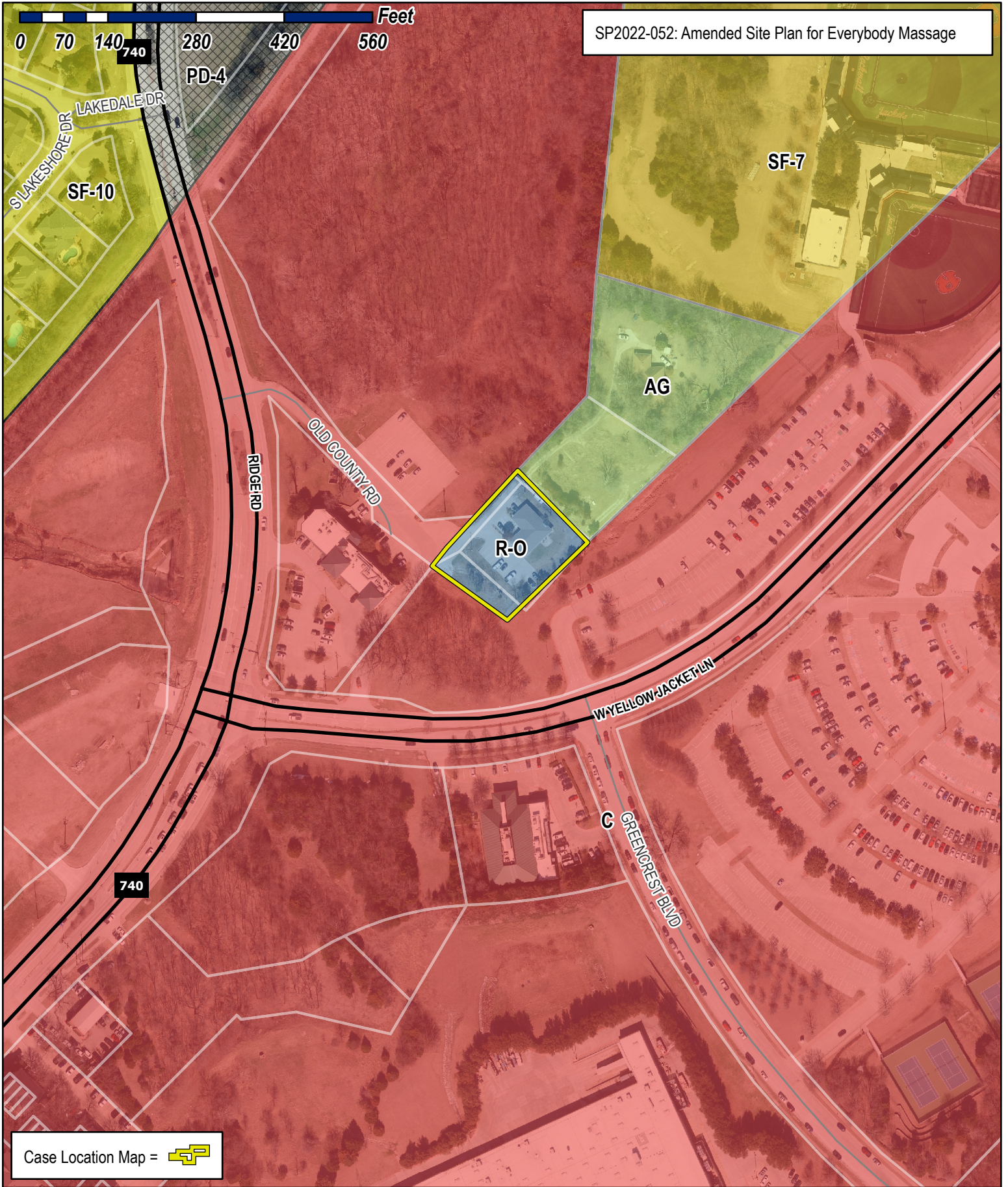
Given under my hand and seal of office on this the 16th day of September, 20 22

Owner's Signature

Notary Public in and for the State of Texas



My Commission Expires 5-10-24



SP2022-052: Amended Site Plan for Everybody Massage

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

September 16, 2022

Mr. Ryan Miller
City of Rockwall Director of Planning
City Hall 385 S. Goliad
Rockwall, TX 75087

Re: SP2022-0XX Variance Requested
Everybody Massage Expansion Project
Rockwall, TX. 75087

Mr. Miller,

This letter serves as a summary of the Request for Variance to the UDC within the general zoning district for a Parking Variance on this site.

Parking Variance for (1) parking space.

- A) **Parking Requirement per zoning is 1/ 300 SF.** We are requesting a parking variance for (1) one parking space. The existing residential building was remodeled a couple of years ago and converted into a commercial /residential business. The new expansion would add 7 new relaxing rooms to replace smaller rooms inside the existing space. This expansion will allow for a total of 11 massaging rooms. We are planning to reduce the number of rooms in the existing building by combing smaller rooms together and enlarging the breakroom / laundry rooms.

Building Square Footage,
Existing 2293 SF
Expansion 1,713 SF

Total Building SF – 4,006 SF / 300 = 13.35 parking spaces.
This would typically round up to 14 spaces. We are asking for 13.

Thank you for your consideration and reviewing our request.

Sincerely,

A handwritten signature in black ink that reads "Jeff Carroll". The signature is written in a cursive, flowing style.

Jeffrey Carroll
Carroll Architects, Inc.
President / CEO

2022064 Everybody Massage Rockwall, TX 9-16-22

